



Date: November 1, 2022

Subject: ADDENDUM #3

From: Wight & Company

Project: Transition Building
(T99) Addition

Project No: 220081

This addendum forms a part of the Bidding Contract Documents, dated October 17, 2022. Bidders must acknowledge receipt of this Addendum in the space provided on the Bid Form. Revisions are clouded and tagged throughout the drawings with Delta 2.

Attached are Scope of Work:

BP#6 Glazing and BP#17 Flooring

Attached are Bid Forms:

BP#17 Flooring

Attached:

- Site Logistics Plan
- Question and Answer Log

I. Drawings

ARCHITECTURAL

1. ***SHEET A5.00*** (FULL SIZE SHEET REISSUED)
 - Revised "horizontal punched hat channels" to "horizontal hat channels".
2. ***SHEET A5.01*** (FULL SIZE SHEET REISSUED)
 - Revised "horizontal punched hat channels" to "horizontal hat channels".
3. ***SHEET A6.01*** (FULL SIZE SHEET REISSUED)
 - Revised "horizontal punched hat channels" to "horizontal hat channels".
4. ***SHEET A6.02*** (FULL SIZE SHEET REISSUED)
 - Revised "horizontal punched hat channels" to "horizontal hat channels".

CIVIL

5. ***SHEET C2.00*** (FULL SIZE SHEET REISSUED)
 - Keynote 13 has been revised.
 - Notes 6 and 7 have been added.

6. ***SHEET C3.00*** (FULL SIZE SHEET REISSUED)
 - Grading has been revised.
 - Erosion control measures have been added.
 - The notes have been updated.

7. ***SHEET C5.00*** (FULL SIZE SHEET REISSUED)
 - Detail 9 has been updated.

8. ***SHEET C5.01*** (FULL SIZE SHEET REISSUED)
 - Details 2 and 4 have been updated.

9. ***SHEET C5.02*** (FULL SIZE SHEET REISSUED)
 - Detail 5 has been updated.

10. ***SHEET C5.04*** (FULL SIZE SHEET REISSUED)
 - Details 1, 2 and 3 have been updated.

11. ***SHEET C5.05*** (FULL SIZE SHEET REISSUED)
 - Sheet has been added.

END OF ADDENDUM #3

**BG1 BP6 SCOPE OF WORK GLAZING –
District 99 Transition Building Addition**

Scope – This TRADE CONTRACTOR’s scope shall include but not be limited to the scope listed below. Please see entirety of bid documents for all scope requirements.

1. This TRADE CONTRACTOR shall reference ALL General, Civil, Landscape, Structural, Architectural Demolition, Architectural, Mechanical, Mechanical Demolition, Plumbing Demolition, Plumbing, Electrical Demolition, Electrical, and Fire Protection Sheets included in this Bid Group 1 as they relate to Storefront and Glazing. This TRADE CONTRACTOR shall read all Specification Sections in this manual as well as Notes and General Notes included in the drawings as they pertain to this scope of work. This TRADE CONTRACTOR shall review the project SCHEDULE included in this project manual and provide sufficient manpower and equipment to complete this TRADE CONTRACTOR’s scope of work within the designated durations provided.

This TRADE CONTRACTOR will need to properly staff the project to meet the durations of the schedule. Failure to do so will result in backcharge to expedite other TRADES.

2. This TRADE CONTRACTOR shall be responsible for furnishing and installing all materials, skilled and/or licensed labor, equipment, tools, etc... to complete all aspects of this TRADE CONTRACTOR’s work including any and all Interior and Exterior Storefront Systems, Security Windows, Aluminum Door Frames, Aluminum Doors, all related Hardware, Glass Door Lites & Sidelites, Fire-Rated and Non-Fire Rated Glazing, Laminated and Tempered Glazing, etc. as indicated in construction documents and/or as specified in the project manual.

NOTE: This TRADE CONTRACTOR shall be responsible for glazing any and ALL Hollow Metal Window Frames interior and exterior. The Hollow Metal Frames will be furnished by GENERAL TRADES CONTRACTOR; and installed by DRYWALL & FRAMING CONTRACTOR.

3. This TRADE CONTRACTOR shall be responsible for furnishing, unloading, staging, storing, protecting, and installing the Storefront system as specified in Section 084113 – Aluminum-Framed Entrances and Storefronts including all related extruded aluminum trim and sill, all related aluminum support trim, all break metal, all related thermally broken aluminum sub-sill with weeps and baffles, all related Pack Void with Batt insulation, etc. This shall include all associated shop drawings, field coordination, and field measurement necessary for a complete installation.

Note: This TRADE CONTRACTOR shall be required to participate in a pre-install meeting to review all details surrounding/ touching this contractor’s material.

Note: This TRADE CONTRACTOR shall be responsible for providing all shop drawings, submittals and **mock-up’s** per project specifications in a timely manner.

Note: This TRADE CONTRACTOR shall provide drawings that show all required blocking.

Note: This TRADE CONTRACTOR shall be responsible for furnishing and installing the batt insulation required to fill the aluminum frames as shown in the contract documents.

Note: The furnish and install of the sill extensions and sill pan flashings, as shown in the contract documents is the responsibility of this TRADE CONTRACTOR.

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4. This TRADE CONTRACTOR shall be responsible for furnishing and installing ALL INTERIOR & EXTERIOR GLAZING per Specification 088000 and the rest of the contract documents for the Storefronts, Door Lites, Sidelites, Interior Aluminum Frames and Windows including: Insulated, Laminated, Safety, Tempered, Vision, Tinted, Fritted, Spandrel, Translucent, Fire-Rated, etc... This TRADE CONTRACTOR shall also include all related scope of work necessary for a complete install as indicated on the drawings and/or specified in the project manual.

NOTE: This TRADE CONTRACTOR is responsible for the furnish and install of fire-rated and non-fire-rated glazing at all sidelites and door lites whether the doors and frames were supplied by this TRADE CONTRACTOR or not.

5. This TRADE CONTRACTOR shall be responsible for furnishing and installing all Aluminum Entrance Doors and associated hardware per specifications **084113** Aluminum-Framed Entrances and Storefronts and **087111** Door Hardware and as shown in the rest of the contract documents.

NOTE: This TRADE CONTRACTOR shall be responsible for scheduling a keying meeting and installing the final cores for all Aluminum Entrance Doors. One Construction Core for Temporary Use shall be provided and Installed.

6. This TRADE CONTRACTOR shall be responsible for furnishing and Installing all full height, full width interior and/or exterior Aluminum/Glazing related sealant and caulking including but not necessarily limited to sealant/caulking of joints as part of this trade contractors work where indicated and/or required, including where the work of this trade contractor intersects dissimilar materials including but not limited to: aluminum to siding, aluminum to block, aluminum to cement siding, aluminum to drywall, etc... as indicated on the drawings and/or specified in the project manual.
7. This TRADE CONTRACTOR shall furnish and install all fasteners, hardware, clips, mounting devices, caulking, screws, bolts, anchoring systems, etc... to complete all scope according to drawings and construction documents.
8. This TRADE CONTRACTOR shall be responsible for the final cleaning of outside and inside glass surfaces installed by this TRADE CONTRACTOR, including but not limited to the METAL FRAMED SKYLIGHTS. Scheduling of this final cleaning work will be as directed by the Construction Manager. A mechanical lift or an extra mobilization should be figured for this work and is the responsibility of this TRADE CONTRACTOR.
9. This TRADE CONTRACTOR shall leave the site in a safe and orderly manner including barricades and effective deterrents from any and all possible dangers on a daily basis and at the conclusion of this trade contractor's work.
10. This TRADE CONTRACTOR shall be responsible to provide its own project layout according to the drawings, considering the benchmark locations and elevations that will be given by the Construction Manager.
11. This TRADE CONTRACTOR shall provide, on a separate form to be submitted with bid documents, a quantity take-off and cost breakdown of this bid.

ALLOWANCES, BOND, AND ALTERNATES

1. This TRADE CONTRACTOR shall include an allowance of **\$10,000.00 in their base bid** to account for any unforeseen conditions. Contract amounts will be adjusted by change order for amounts

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greater or less than the allowance. Allowance to be utilized only at the direction of Construction Manager.

2. This TRADE CONTRACTOR will be required to provide a Performance and Payment Bond for their work in accordance with 00201 of the General Conditions.

ACCEPTANCE

Accepted as listed above in addition to terms and conditions of the original construction documents on which the bid was based.

Company: Wight Construction Services, Inc.
2500 North Frontage Road
Darien, IL 60561

Signed: _____
Printed Name: _____
Position: _____
Date: _____

END OF SECTION 00300 –Scope

**BG1 BP17 SCOPE OF WORK FOR FLOORING –
District 99 Transition Building Addition**

Scope – This TRADE CONTRACTOR’s scope shall include but not be limited to the scope listed below. Please see entirety of bid documents for all scope requirements.

1. This TRADE CONTRACTOR shall reference ALL General, Civil, Landscape, Structural, Architectural Demolition, Architectural, Mechanical, Mechanical Demolition, Plumbing Demolition, Plumbing, Electrical Demolition, Electrical, and Fire Protection Sheets included in this Bid Group 1 as they relate to Flooring. This TRADE CONTRACTOR shall read all Notes and General Notes included in the drawings as they pertain to this scope of work. This TRADE CONTRACTOR shall review the project SCHEDULE included in this project manual and provide sufficient manpower to complete this TRADE CONTRACTOR’s scope of work within the designated durations provided.

Note: This TRADE CONTRACTOR will need to properly staff the project to meet the durations of the schedule. Failure to do so will result in backcharge to expedite other TRADES.

2. This TRADE CONTRACTOR shall be responsible for furnishing and installing all materials, skilled and/or licensed labor, equipment, tools, etc... to complete all aspects of this TRADE CONTRACTOR’s work for flooring including all Resilient Base, Resilient Flooring, Walk-Off Carpet, Sheet Vinyl, LVT, Carpet, Rubber Base, and Reducer Strips and all associated transitions as listed in the specifications and shown on the construction documents.

NOTE: This TRADE CONTRACTOR shall include CPT-1, WOC-1, LVT-1, LVT-2, LVT-3, RB-1 as specified in the construction documents.

NOTE: This TRADE CONTRACTOR shall be responsible for skim-coating entire floor to receive sheet vinyl and carpet flooring. This cost shall be included in the base bid.

NOTE: This TRADE CONTRACTOR shall provide all base per contract documents at casework locations. The installation of base on millwork items that are installed after the flooring installation shall be included in this TRADE CONTRACTOR’s bid and no additional mobilization for this will be paid by the owner.

3. This TRADE CONTRACTOR shall be responsible for providing all transition profiles per details on A10.01 as they relate to this TRADE CONTRACTOR’s scope of work.
4. This TRADE CONTRACTOR shall be responsible for the floor expansion joint between the existing building and the new addition, under door 010.
5. This TRADE CONTRACTOR shall be responsible for all layout work, measuring and field dimensioning associated with this Trade Contractor's work.
6. This TRADE CONTRACTOR shall be responsible for all floor preparation required for the work of this TRADE CONTRACTOR. Start of work by this trade contractor on top of or against concrete/masonry/drywall or any other surface acknowledges this trade contractor’s acceptance of quality and completeness of adjacent surface.
7. This TRADE CONTRACTOR shall be responsible for and compliant with all specified requirements including but not limited to all: Performance Requirements, Submittals, QA, Testing, Training, QC,

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and Extra Materials specified and pertaining to this trade contractor’s work as noted in the plans and specifications.

NOTE: This TRADE CONTRACTOR shall be responsible for providing all shop drawings, submittals and mock-up’s per project specifications in a timely manner.

NOTE: This TRADE CONTRACTOR shall be responsible for furnishing and delivering any and all extra materials specified to owner as listed in the specifications and shown on the construction documents properly packaged and labeled. Coordinate storage location with Construction Manager prior to delivery.

8. This TRADE CONTRACTOR shall include all testing related work including but not limited to moisture, etc... All testing and results are to be documented and transmitted within 2-working days of test completion to Construction Manager.
9. This TRADE CONTRACTOR shall be responsible for protecting any and all flooring and related materials and equipment on-site and as specified: prior to installation, during installation and/or until final acceptance by Construction Manager.
10. All materials to be staged in approved location by Construction Manager and owner. This TRADE CONTRACTOR shall be responsible for coordinating staging/storing location with Construction Manager prior to any onsite delivery.
11. This TRADE CONTRACTOR to provide sufficient equipment, material, skilled manpower, supervision and/or premium time/shift work (all without additional compensation) as may be required to complete the work of this Trade Contractor in accordance with the overall project schedule.
12. All mobilizations and demobilizations related costs of this TRADE CONTRACTOR are to be included without consideration of additional compensation.
13. All surplus (left-over) flooring materials shall be hauled off site by this TRADE CONTRACTOR. This material shall not to be placed in an on-site dumpster.

ALLOWANCES, BOND, & ALTERNATES

1. This TRADE CONTRACTOR shall include an allowance of **\$25,000.00 in their base bid** for floor prep and leveling and moisture mitigation. Note the full skim coat in areas under **carpet** are to be included in the Base Bid. Contract amounts will be adjusted by change order for amounts greater or less than the allowance. Allowance to be utilized only at the direction of Construction Manager.
2. This TRADE CONTRACTOR shall provide **Unit Pricing** / S.F. for Flooring mitigation, if necessary, due to failed alkalinity or moisture tests. Unit Pricing shall include all labor and material. Unit Pricing to be placed in designated location on Bid Form.
3. **Alt. Bid #4** - This TRADE CONTRACTOR shall provide an Alternate Price to demo flooring and base per note D9 on AD1.01, then furnish and install flooring and base for conference room 102 per notes 1 & 2 on A2.01. Price should include any prep and leveling needed for this area.
4. **Alt. Bid #7** - This TRADE CONTRACTOR shall provide an Alternate Price to demo flooring and base then furnish and install flooring and base for classrooms 1 & 2 (rooms 101 & 105) as shown on A2.01. Price should include any prep and leveling needed for this area.

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5. This TRADE CONTRACTOR will be required to provide a Performance and Payment Bond for their work in accordance with 002010 of the General Conditions.

ACCEPTANCE

Accepted as listed above in addition to terms and conditions of the original construction documents on which the bid was based.

Company: Wight Construction Services, Inc.
2500 North Frontage Road
Darien, IL 60561

Signed: _____

Printed Name: _____

Position: _____

Date: _____

END OF SECTION 003000 –Scope

BID DATE: November 7th, at 1:00 p.m. (CST)

BID TO: Community High School District 99
Administrative Center
6301 Springside Avenue
Downers Grove, IL 60516

RECEIVED BY: Community High School District 99 Receptionist

BID FROM: _____

BID FOR: Bid Group 1 - Bid Package #17 - Flooring

THE UNDERSIGNED:

Acknowledges receipt of:

Plans and specifications for the work indicated above.

Addenda: No. _____ dated _____

No. _____ dated _____

No. _____ dated _____

No. _____ dated _____

Having examined the site of the work, and having familiarized himself or herself with local conditions affecting the cost of the work and with all requirements of the bidding documents including Instructions to Bidders, drawings, specifications and duly issued addenda as prepared by the architect, Wight & Company, hereby agrees to perform all work and furnish all labor, material and equipment specifically required of him by the bidding documents and such additional work as may be included as related requirements in other divisions or sections of the specifications, exclusive of alternate bids.

Agrees:

To furnish and install the described material and/or services for stated lump sum price.

To hold this bid open until **90** calendar days after bid opening date.

To accept the provisions of the General Provisions (Project Manual Division 0 – Bidding & Contracting Requirements Section 00201) and disposition of bid security.

To enter into and execute a contract with the Owner, if awarded on the basis of this bid, and in connection therewith to:

1. Furnish all bonds and insurance required by the bidding documents.
2. Accomplish the work in accordance with the contract.
3. Complete the work within the contract time herein specified.

Completion Time:

The undersigned agrees to begin construction immediately, or as directed by the Construction Manager, upon notice of contract award and to perform the following components of the work in accordance with the Construction Manager’s Construction. This schedule is bound in the Project Manual. See attached scope of work in section 0300.

SCOPE OF WORK:

The work in this agreement (without additional compensation) shall include, but shall not necessarily be limited to, all skilled labor, supervision, premium time, materials, tools, equipment, plant, supplies, samples, shop drawings, design/engineering drawings, layout, transportation, supervision, contributions, insurance, taxes (if applicable), compliance with all agencies (City / Village, County, State, Federal and/or any other jurisdictional agency, as may be required) and/or all services and facilities necessary and/or required for the performance of all Work shown, detailed, and/or implied by the following documents and as defined herein.

It is understood that this Trade Contractor shall perform the Work for a complete and operational system as indicated or implied in all Contract Documents. It is recognized and understood that the documents upon which the bid is based are at a conceptual phase and this Contractor who has certain skills and judgments based upon his knowledge of techniques, procedures, systems, general state of the art of his specialty is expected to include in the scope of work, all items required in order to carry out a complete and functional system whether or not shown or described in the contract documents. This contract will be awarded on the basis of such documents with the understanding that this contractor is to furnish and install all items required for the proper completion of this work without adjustment to this contract price. No extra payments shall be made of claims entertained as a result of such items, unless it can be clearly demonstrated to be added scope to the contract and beyond the original intent of the documents.

Contractor to provide all Trade Contract work referenced in:

1. Any sheet of this bid group package including (reference Division 0 – Bidding and Contract Requirements, Section 001110 – Notice to Bidders).
2. Specification 004100 Bid Packages Scope Document.

WORK BASE BID: For providing all work including all allowances as required for the completion of the construction of the base bid project as shown on the drawings and specifications and NOT including alternate bids and/or contractor's proposed alternates and substitutes.

BASE BID

TOTAL BASE BID AMOUNT **TRANSITION BUILDING ADDITION:**

_____ Dollars (\$ _____)

1. This TRADE CONTRACTOR **shall include an allowance of \$25,000.00 in their base bid** for floor prep and leveling and moisture mitigation. Note the full skim coat in areas under carpet are to be included in the Base Bid. Contract amounts will be adjusted by change order for amounts greater or less than the allowance. Allowance to be utilized only at the direction of Construction Manager.

- 2. This TRADE CONTRACTOR shall provide **Unit Pricing** / S.F. for Flooring mitigation, if necessary, due to failed alkalinity or moisture tests. Unit Pricing shall include all labor and material. Unit Pricing to be placed in designated location on Bid Form.

UNIT PRICING _____ Dollars (\$ _____)

- 1. **Alt. Bid #4** - This TRADE CONTRACTOR shall provide an Alternate Price to demo flooring and base per note D9 on AD1.01, then furnish and install flooring and base for conference room 102 per notes 1 & 2 on A2.01. Price should include any prep and leveling needed for this area.

ADD/DEDUCT _____ Dollars (\$ _____)

- 1. **Alt. Bid #7** - This TRADE CONTRACTOR shall provide an Alternate Price to demo flooring and base then furnish and install flooring and base for classrooms 1 & 2 (rooms 101 & 105) as shown on A2.01. Price should include any prep and leveling needed for this area.

ADD/DEDUCT _____ Dollars (\$ _____)

Award Basis:

The project will be awarded based upon the attached Evaluation Criteria, Section 301a. Owner and Construction Manager alternate's may be considered to find the most qualified bidder if the result of combining the base bid and the selected alternate(s) is the most qualified bid, and is to the benefit of the owner.

Each of the following amounts for alternate construction includes the entire cost of such construction, except as otherwise noted. Acceptance of any or all of the alternates for inclusion in the contract is the sole prerogative of the owner.

All additional costs due to the alternates are included in the amount to be added to the base bid, so that no additional costs will be borne by the owner due to acceptance of alternates. This alternate price is not to be included in the base bid price.

Owner Requested Alternates:

Each of the following amounts for alternate construction includes the entire cost of such construction, except as otherwise noted. Acceptance of any or all of the alternates for inclusion in the contract is the sole prerogative of the owner.

All additional costs due to the alternates are included in the amount to be added to the base bid, so that no additional costs will be borne by the owner due to acceptance of alternates.

Proposed Alternates: (Contractors Proposed Alternates)

Item Specified	Proposed Alternate	Change in Bid Price
1. _____	_____	_____
2. _____	_____	_____

3. _____

Owner Requested Unit Prices/Allowances (as applicable to this Trade Contractor's scope of work) (additive or deductive).

This trade contractor includes _____ dumpsters for all refuse caused by this trade contractor's work in the amount of _____ Dollars (\$_____). Note: trade contractors are to include in their bid form submittal the quantity of dumpsters required to complete their work and the cost associated with same. Dumpster costs will be subtracted by change order. Dumpsters will be procured and managed by Construction Manager. Note: Dumpster use in excess of that proposed by this Trade Contractor will be adjusted by back charge.

Owner Requested Scheduling Information:

Note: The work of this Trade Contractor is to be completed in accordance with the overall project schedule as identified elsewhere in this project manual and/or as subsequently directed by Construction Manager. This Trade Contractor shall submit a proposed submittals list/schedule/material log within five (5) calendar days of Notice To Proceed.

1. Shop drawings / Submittal for this trade contractor will be submitted within 10 calendar days of receipt of notice to proceed.

Bid Acceptance:

If written notice of the acceptance of this bid is mailed, telegraphed or delivered to the undersigned within the time noted herein, after the date of opening of bids or at any time thereafter before this bid is withdrawn, the undersigned agrees that he will execute a construction contract in accordance with the bids as accepted.

The Owner reserves the right to award the contract to its best interests, review and accept any and all value engineering alternatives, negotiate with the lowest responsible bidder, to reject any or all bids, to waive any informalities in bidding and to hold all bids for the bid guarantee period. The Owner reserves the right to award separate contracts for any of the items of work bid herein.

Bid Deposit:

The undersigned furnishes herewith, as required in the Instructions to Bidders, a bid deposit in the amount of ten percent (10%) of the amount bid in the form of Cashier's Check, or Certified Check, made payable to the Owner or Bid Bond, naming the Owner as obligee. (Bidder to check form of deposit furnished.)

It is understood and agreed that should the undersigned fail to enter into a contract with the Owner or furnish acceptable contract security within the time and in the manner herein provided, the bid deposit shall be retained by the Owner as liquidated damages and not as a forfeiture. As it is impossible to determine precisely an exact amount of damages the Owner will sustain, it is agreed that the bid deposit is a fair and equitable estimate of such damages.

REPRESENTATIONS AND CERTIFICATIONS:

The bidder makes the following representations and certifications as part of his bid on the project herein identified in the Bid Form. In the case of a joint venture bid, each party represents and certifies as to his own organization.

AVAILABILITY. The number and amount of contracts and awards pending which I am and/or will be obligated to perform, now and during the course of the project, will not interfere with or hinder the timely prosecution of my work.

SURETY. I have notified a Surety Company that I am submitting a bid for work to be performed on the project. The Surety Company has agreed to issue a performance and labor and material payment bond for my work, if my bid is accepted and the contract awarded to me.

INDEPENDENT PRICE DETERMINATION. The contract sum in this bid has been arrived at independently, without consultation, communication or agreement for the purpose of restricting competition.

PREVAILING WAGE. The contractor and each subcontractor shall pay not less than the general prevailing rate of hourly wages for work of a similar character in the locality in which the work is performed and not less than general prevailing rate of hourly wages for legal holidays and overtime work in the performance of work under this contract, as established by the Illinois Department of Labor, pursuant to an act of the General Assembly of the State of Illinois approved June 26, 1941 as amended according to Section 820 ILCS 130/1.

Pursuant to Section 820 ILCS 130/5, the contractor and each subcontractor shall keep an accurate record showing the names and occupation of all laborers, workers and mechanics employed by them, and also showing the actual hourly wages paid to each such individual, which record shall be open at all reasonable hours to inspection by the Owner, its officers and agents, and to agents of the Illinois Department of Labor.

The contractor and each subcontractor hereby agree, jointly and severally, to defend, indemnify and hold harmless the Owner from any and all claims, demands, liens or suits of any kind or nature whatsoever (including suits for injunctive relief) by the Illinois Department of Labor under the Illinois Prevailing Wage Act, Section 820 ILCS 130/1., or by any laborer, worker or mechanic employed by the contractor or the subcontractor who alleges that he has been paid for his services in a sum less than prevailing wage rates required by Illinois law. The Owner agrees to notify the contractor or subcontractor of the pendency of any such claim, demand, lien or suit.

By submitting a bid, each bidder agrees to waive any claim it has or may have against the Owner, the Architect, Engineer, Construction Manager and their respective employees, arising out of or in connection with the administration, evaluation, or recommendation of any bid; waiver of any requirements under the Bid Documents; or the Contract Document; acceptance or rejection of any bids; and award of the Contract.

Signature:

Respectfully submitted this _____ day _____, 2022

Type of Firm (Bidder to indicate)

_____ Individual

_____ Partnership

_____ Corporation

_____ Joint Venture

_____ Other

(Firm Name)

(Address)

(Telephone Number) (FAX)

(E-mail Address)

(Bidder's Signature)

(Title)

(CORPORATE SEAL)

Subscribed and sworn to me
this _ day of __, 2022

NOTE: All pages of this bid form must be returned with your proposal. Failure to do so shall disqualify your bid.

CERTIFICATE OF BIDDER ELIGIBILITY

720 ILCS 5/33E-11 REQUIRES THAT ALL CONTRACTORS BIDDING FOR PUBLIC AGENCIES IN THE State of Illinois certify that they are not barred from bidding on public contracts for bid rigging or bid rotation.

The following certification must be signed and submitted with bidder's bid proposal. FAILURE TO DO SO MAY RESULT IN DISQUALIFICATION OF THE BIDDER.

_____, as part of its bid for the _____ work for Community High School District 99, Downers Grove, Illinois, DuPage County, Illinois certified that said contractor is not barred from bidding on the aforementioned contract as a result of violation of either 720 ILCS 5/33E-3 or 720 ILCS 5/33-E4.

Firm: _____

By: _____
(Signature)

(Printed Name & Title)

SUBSCRIBED AND SWORN TO before me

This _____ day of _____, 2022

NOTARY PUBLIC

**CRIMINAL CODE CERTIFICATION
AS REQUIRED BY:
STATE OF ILLINOIS CRIMINAL CODE OF 2012, 720 ILCS 5/33E-11**

I, _____ the individual whose signature appears below on this bid/contract
for _____ hereby certify that the bidding party/contracting party is
not barred from bidding on the contract as a result of a violation of either Section 33E-3 or Section 33E-4 of 720 ILCS 5/33E-3 or
5/33E-4 of the Illinois Compiled Statutes, as amended.

By: _____
Authorized Agent of Contractor (name and title)

SUBSCRIBED AND SWORN to before
me this ____ day _____, 2022

Notary Public

EQUAL EMPLOYMENT OPPORTUNITY

Section I. This EQUAL EMPLOYMENT OPPORTUNITY CLAUSE is required by the Illinois Human Rights Act and the Rules and Regulations of the Illinois Department of Human Rights published at 44 Illinois Administrative Code Section 750, *et seq.*

Section II. In the event of the Contractor's noncompliance with any provision of this Equal Employment Opportunity Clause, the Illinois Human Rights Act, or the Rules and Regulations of the Department of Human Rights (hereinafter referred to as the Department) the Contractor may be declared ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations, and this Contract may be canceled or voided in whole or in part, and other sanctions or penalties may be imposed or remedies involved as provided by statute or regulation.

During the performance of this Agreement, the Contractor agrees:

A. That it will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, national origin or ancestry, citizenship status, age, physical or mental disability unrelated to ability, military status or an unfavorable discharge from military service; and further that it will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate affirmative action to rectify any such underutilization.

B. That, if it hires additional employees in order to perform this Contract, or any portion hereof, it will determine the availability (in accordance with the Department's Rules and Regulations) of minorities and women in the area(s) from which it may reasonably recruit and it will hire for each job classification for which employees are hired in such a way that minorities and women are not underutilized.

C. That, in all solicitations or advertisements for employees placed by it or on its behalf, it will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, sexual orientation, marital status, national origin or ancestry, citizenship status, age, or physical or mental handicap unrelated to ability, military status or an unfavorable discharge from military service.

D. That it will send to each labor organization or representative of workers with which it has or is bound by a collective bargaining or other agreement or understanding, a notice advising such labor organization or representative of the Vendor's obligations under the Illinois Human Rights Act and Department's Rules and Regulations. If any labor organization or representative fails or refuses to cooperate with the Contractor in its efforts to comply with the Act and Rules and Regulations, the Contractor will promptly notify the Department and the contracting agency and will recruit employees from other sources when necessary to fulfill its obligations under the Contract.

E. That it will submit reports as required by the Department's Rules and Regulations, furnish all relevant information as may from time to time be requested by the Department or the contracting agency, and in all respects comply with the Illinois Human Rights Act and Department's Rules and Regulations.

F. That it will permit access to all relevant books, records, accounts and work sites by personnel of the contracting agency and Department for purposes of investigation to ascertain compliance with the Illinois Human Rights Act and Department's Rules and Regulations.

G. That it will include verbatim or by reference the provisions of this Equal Employment Opportunity Clause in every subcontract it awards under which any portion of this Contract obligations are undertaken or assumed, so that such provisions will be binding upon such subcontractor. In the same manner as the other provisions of this Agreement, the Contractor will be liable for compliance with applicable provisions of this clause by such subcontractors; and further it will promptly notify the contracting agency and the Department in the event any subcontractor fails or refuses to comply therewith. In addition, the Contractor will not utilize any subcontractor declared by the Illinois Human Rights Department to be ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations.

ACKNOWLEDGED AND AGREED TO:

By: _____
Authorized Agent of Contractor (name and title)

DATE: _____

SEXUAL HARASSMENT POLICY

_____, having submitted a bid for _____ (Name of Contractor)
_____ to Community High School District No. 99, hereby certifies that said
contractor has a written sexual harassment policy in place in full compliance with 775 ILCS 5/2-105 (A) (4).

By: _____
Authorized Agent of Contractor (name and title)

SUBSCRIBED AND SWORN to before
me this ____ day _____, 2022

Notary Public

TAX CERTIFICATION

I, _____, having been first duly sworn depose and state as follows:

I, _____, am the duly authorized agent for
School _____ District _____ No. _____ 99 for

_____ and I hereby certify that _____ is not delinquent in the payment of any tax administered by the Illinois Department of Revenue, or if it is:

a. it is contesting its liability for the tax or the amount of tax in accordance with procedures established by the appropriate Revenue Act; or

b. it has entered into an agreement with the Department of Revenue for payment of all taxes due and is currently in compliance with that agreement.

By: _____
Authorized Agent of Contractor (name and title)

SUBSCRIBED AND SWORN to before
me this _____ day _____, 2022

Notary Public

SUBSTANCE ABUSE PREVENTION ON PUBLIC WORKS PROJECTS

The Contractor certifies that it has in place a written program that meets or exceeds the program requirements of the Substance Abuse Prevention on Public Works Projects Act (Public Act 95-0635), and will provide a copy thereof to Community High School District No. 99 prior to commencement of work on the Project.

By: _____
Authorized Agent of Contractor (name and title)

SUBSCRIBED AND SWORN to before
me this ____ day _____, 2022

Notary Public

**CERTIFICATE REGARDING
EMPLOYMENT OF ILLINOIS WORKERS ON PUBLIC WORKS**

_____ agrees if at the time the Agreement is executed, or if during the term of the Agreement, there is excessive unemployment in Illinois as defined in the Employment of Illinois Workers on Public Works Act, 30- ILCS 570/0/01 et seq., as two consecutive months of unemployment exceeding 5%, then _____ agrees to employ Illinois laborers in accordance with the Employment of Illinois Workers on Public Works Act. An "Illinois laborer" is defined as any person who has resided in Illinois for at least thirty (30) days and intends to become or remain an Illinois resident.

Firm: _____

By: _____
(Signature)

(Printed Name & Title)

SUBSCRIBED AND SWORN TO before me

This _____ day of _____, 2022

NOTARY PUBLIC

PREVAILING WAGE AFFIDAVIT

AFFIDAVIT: "I (we) hereby certify and affirm that if awarded a contract with Community High School District 99, we will comply fully with the "Illinois Prevailing Wage Act (Ill. Rev. Stat., 1987 Ch. 48, Sections 398 s-1-12 as amended by Public Act 86-693 and 86-799 effected January 1, 1990, and any other amendments effective thereafter)". We further understand that current prevailing wage standards are included in the Supplementary General Conditions.

The following affidavit must be signed and submitted with bidder's bid proposal. FAILURE TO DO SO MAY RESULT IN DISQUALIFICATION OF THE BIDDER.

_____, as part of its bid for the _____ work for Community High School District 99, Downers Grove, Illinois, certifies that said contractor is not barred from bidding on the aforementioned contract as a result of a violation of the Illinois Prevailing Wage Act (Ill. Rev. Stat., 1987 Ch. 48, Sections 398 s-1-12 as amended by Public Act 86-693 and 86-799 effected January 1, 1990).

Firm: _____

By: _____

(Signature)

(Printed Name & Title)

SUBSCRIBED AND SWORN TO before me

This _____ day of _____, 2022

NOTARY PUBLIC

NON-COLLUSION AFFIDAVIT

AFFIDAVIT: "I (we) hereby certify and affirm that my (our) proposal was prepared independently for this project and that it contains no fees or amounts other than that for the legitimate execution of this work as specified and that it includes no understanding or agreements in restraint of trade."

The following affidavit must be signed and submitted with bidder's bid proposal.
FAILURE TO DO SO MAY RESULT IN DISQUALIFICATION OF THE BIDDER.

_____, as a part of its bid for the _____ work for Community High School District 99, Downers Grove, Illinois, certifies that said Contractor is not barred from bidding on the aforementioned contract as a result of a violation of the above Non-Collusion Affidavit.

Firm: _____

By: _____
(Signature)

(Printed Name & Title)

SUBSCRIBED AND SWORN TO before me

This _____ day of _____, 2022

NOTARY PUBLIC

Criminal Background Investigations

Contractor hereby represents, warrants and certified that no officer or director thereof has any knowledge that any employee thereof has been convicted of committing or attempting to commit "Criminal Code of 1961," 720 ILCS, Sections 5/11-6 (Indecent solicitation of a child), 5/11-9 (Public indecency), 5/11-14 (Prostitution), 5/11-15 (Soliciting for a prostitute), 5/11-15.1 (Soliciting for a juvenile prostitute), 5/11-19 (Pimping), 5/11-19.1 (Juvenile pimping), 5/11-19.2 (Exploitation of a child), 5/11-20 (Obscenity), 5/11-20.1 (Sexual assault), 5/12-14 (Aggravated criminal sexual assault), 5/12-15 (Criminal sexual abuse), and 5/120-16 (Aggravated criminal sexual abuse), and/or those offenses defined in the "Cannabis Control Act," 720 ILCS, 550/1 et seq. (except the "Illinois Controlled Substances Act," 720 ILCS 570/100 et seq. and/or any offense committed or attempted in any other state or against the laws of the United States, which if committed or attempted in this State, would have been punishable as one or more of the foregoing offenses.

Contractor further agrees that it shall not employ any person who have or may have direct, daily contact with the pupils of any school in the district, and for whom a criminal background investigation has not been conducted pursuant hereto, and further represents and agrees that all applicants for any such employment shall furnish with their applications the attached written "Authorization for Criminal Background Information" form authorizing the Board of Education to request a criminal background investigation of said applicant pursuant to Section 5/10-21.9 of the School Code of Illinois and to receive criminal history record information pursuant thereto to determine if the applicant has been convicted of committing or attempting to commit any of the criminal or drug offenses enumerated above. Contractor further agrees to submit with said authorization payment for any costs and expenses associated with the criminal background investigation.

Contractor further represents, warrants, and certifies that no applicant for employment with respect to whom the criminal investigation reveals any conviction for committing and/or attempting to commit any of the above enumerated offenses shall be employed thereby in any position that involves or may involve contact with the students of the school district.

This certification is executed on the date hereinafter indicated by the designated contractor by its duly authorized officer.

Firm: _____

By: _____
(Signature)

(Printed Name & Title)

Date: _____

Criminal Background Investigation

The undersigned hereby authorizes in Board of Education of Community High School District 99, Downers Grove, Illinois, to request a criminal background investigation from the Illinois State Police, pursuant to Section 5/10-21.9 of the School Code of Illinois, 105 ILCS 5/10-21.9 and to receive criminal history record information pursuant thereto.

By: _____
(Signature of Applicant of Employee)

(Printed or Typed Name of Applicant Employee)

Date: _____

BUSINESS CLASSIFICATION

a) Business Entity (check one)

Corporation (Publicly held)* Not-for-Profit* Government Agency/Public Institution*
 Corporation (Privately held) Partnership Sole Proprietor

* If checked, do not complete section III (b) and (c) below.

b) Business Ownership (check one) If minority or woman owned, attach copy of certification evidence.

Large Business: Male Owned Woman Owned
Small Business: Male Owned Woman Owned

BUSINESS DEFINITIONS

Small Business Concern - an independently owned and operated concern certified, or certifiable, as a small business by the Federal Small Business Administration (SBA). Standard Industrial Classification (SIC) codes may be found in the Federal Acquisition Regulations, Section 19.102 or in the Federal Procurement Regulations, Section 1-1.701.

Small Disadvantaged or Minority Business Concern - a small business concern which is at least fifty-one percent (51%) owned by one or more socially and economically disadvantaged individuals or in the case of any publicly owned business, at least fifty-one percent (51%) of the stock of which is owned by such individuals; and whose management and daily business operations are controlled by one or more of such individuals. Business owners who certify that they are members of named groups (Black Americans, Hispanic Americans, Native Americans, Asian-Pacific Americans) are considered socially and economically disadvantaged.

Woman-Owned Business - a business concern that is at least fifty-one percent (51%) owned by a woman or women who also control and operate it. "Control" in this context means exercising the power to make policy decisions. "Operate" in this context means being actively involved in the day-to-day management.

c) Race/Ethnicity of Ownership (check one) based on definitions below.

Black Asian/Pacific or Asian/Indian Caucasian
 Hispanic Native American (American Indians, Eskimos, Aleuts and native Hawaiians)

ETHNIC GROUP DEFINITIONS

Black Americans: United States citizens whose origins are in any of the Black racial groups of Africa.
Hispanic Americans: United States citizens whose origins are in Mexico, Puerto Rico, Cuba, Portugal, Central or Central America.
Native Americans: United States citizens whose origins are in any of the original peoples of North America, i.e., American Indians, Eskimos, Aleuts and native Hawaiians.
Asian Pacific/Asian Indian Americans: United States citizens whose origins are in Japan, China, Korea, Taiwan, Cambodia, Laos, Vietnam, the Philippines, Samoa, Guam, the U.S. Trust Territories of the Pacific Islands, the Northern Mariana Islands, India, Pakistan, or Bangladesh.

I certify that the business classification and ethnicity indicated above reflects the true and correct status of this business in accordance with current Federal Small Business Administration criteria. I agree to inform Community High School District 99 immediately in writing of any changes to the information contained herein, including changes in ownership, controlling interest or operations. I understand that falsely certifying this information may result in suspension from participation in Community High School District 99 – Transition Building Addition.





Name: _____ Title: _____
(Print or Type)

Signature: _____ Date: _____

END OF SECTION 004101



LEGEND

-  Site Fence
-  Drop-Off Route
-  Building Addition
-  Residential Lot





2500 North Frontage Road
Darien, IL 60561

630.969.7000
Fax 630.737.0518
www.wightco.com

Project Name: Community District 99 Transition Building Addition

Project Number: 220082

Date: November 1st, 2022


Bid Question/Answer Log No. 2

The following clarification information is provided in response to questions received in accordance with the bid documents for the following Bid Packages:

Bid Group: 1

Bid Packages: 1-23

#	Questions	Date	Answers	Date/By
1.	D1.01 note D7 states to saw-cut and patch concrete as well as replace tiles. Replacing the flooring tiles is by the Plumbing contractor? If so, can we get some information on the type of tiles? I would think it is just a vinyl tile, but not sure how to get pricing for it if we don't know the specifications on the existing tiles. Please advise.	10/31/22	The flooring work will be the responsibility of the flooring Trade Contractor, not the plumbing Trade Contractor.	10/31/22 AM
2.	I could not find information on the sign for conference room 102 in the documents.	10/31/22	The conference room 102 sign is a regular type C utility sign. Please refer to sheet A12.00. Please note that this sign should be included under Alternate #4.	10/31/22 AM
3.	Exterior Monument: 1) What document shows the material specs that need to be used? 2) Who is acquiring the permit? 3) Is Wight providing the electric to the monument sign for our hookup? 4) Is it going into dirt?	10/31/22	1) Please refer to Specification Section 101429 – Monument Sign. 2) The owner will obtain a permit via ROE and a Site permit for the Village of DG. Wight will help facilitate obtaining those permits. 3) The electrical Trade Contractor will provide power to the monument. 4) The monument sign goes in concrete, refer to spec section 101429 for burial method.	10/31/22
4.	Existing Dimensional Letter on the West Elevation: 1) Do they need to be removed for painting the siding then be reinstalled?	10/31/22	Yes, by the Signage Trade Contractor.	10/31/22 AM

5.	<p>ADA Signs: 1) Can we have access to see the existing ADA signs?</p>	10/31/22		10/31/22 AM
6.	<p>Custom Wall Graphics: 1) Are we responsible to quote the custom paint pattern (PT-10)?</p>	10/31/22	The Custom Wall Graphics are by the Painting Trade Contractor.	10/31/22 AM
7.	<p>Do you have info regarding who the existing temperature controls/BAS contractor is at this site?</p>	10/31/22	<p>The current controls are just local controls. There is no BAS at the building. Use the spec to provide local controls for the new equipment.</p>	10/31/22 NS
8.	<p>I have seen references to a schedule, but cannot find a schedule in the bid documents. Is a schedule coming out in an addendum? If not, what is the anticipated start date? What is the anticipated completion date?</p>	10/31/22	The project will start in April and will need to be completed prior to school start on August 14th, 2023. The schedule can be found in the project manual.	10/31/22 AM
9.	<p>Are all vertical boards supposed to be abuse resistant?</p>	10/31/22	Yes, outer layer of gypsum board should be abuse resistant as per note 5 on sheet A8.01 and spec Section 092116 page 4, 5 & 6.	10/31/22 DA

10.	I reached out to the specified security vendor (correct electric), but they have indicated that they are not familiar with the building/existing system? Is there a different vendor, or if Correct is the preferred vendor what are the existing systems so that they can add-on to them?	10/31/22	The district's security system vendor is Sentry Security. Contact info below. Sentry Security Brad Walbrun 847-595-1048	10/31/22 AT
11.	There is no spec for the F7 fixtures shown in rooms 16/17	10/31/22	Fixture F7 added to schedule in addendum 2	10/31/22 DA
12.	Detail 2/A10.01 shows floor transition at exterior threshold and specifies "Thermally broken ADA compliant Alum Threshold w/ weather Seal - Refer to Specifications." I am not seeing anything in the specifications to refer to. Is there an actual specification for this we are to provide? Please advise.	10/31/22	Threshold specification can be found in spec section 087111. This threshold shall be furnished and installed by the Glazing Trade Contractor.	10/31/22 AM DA
13.	Is the flooring contractor responsible for the flooring / base demo for alternates 7 & 4?	10/31/22	Yes, the flooring contractor should include the flooring demo in his alternate pricing.	10/31/22 AM
14.	Should the skim coat under carpet be included in the base bid of the flooring trade contractor?	10/31/22	Yes.	10/31/22 AM
15.	What is the type of the existing flooring to be demolished?	10/31/22	Existing flooring is resilient tile (Quartz 2'x2')	10/31/22 AT
16.	Regarding millwork, can you let me know if the solid surface top for Alternate 5 is to be SS-1 or SS-2?	10/31/22	SS-1.	10/31/22 DA
17.	Is there any information on the Condensing units that are being relocated to the roof, if I know the amperage and what panel they are being fed from, I should have enough information to capture the relocation cost.	10/31/22	We don't have a picture of the manufacturer tags on the condensing units that are being relocated to the roof, however it appears that they are fed from MDP	10/31/22 EP
18.	On Sheet E1.01 Last note in the general notes section it references the electrical "contractor to be responsible for complete parking lot demolition" is this accurate?	10/31/22	Electrical contractor is not responsible for parking lot demolition	10/31/22 AM
19.	It shows that the EC is responsible for Furnishing the Hand Dryers, however no manufacture or part numbers are listed, is there a specific hand dryer required?	10/31/22	Please refer to updated E0.01 released in Addendum #2. Electrical Trade Contractor is responsible for furnish and install of hand dryers.	10/31/22 AM

20. Is it possible to get the nameplate data for the existing MDP?

10/31/22



DISTRICT 99 – TRANSITION BUILDING
Location: OPEN AREA 116
Type: 208/120V Main: 400A M C/B Panel: MDP
RICHMOND ELECTRIC CO., INC. WO# 33097
Woodridge, IL 60517 ph: 630-541-5210 JAN. 10, 2014

1.	2. FURNACE
3. ACCU-1	4. SPARE
5.	6. FURNACE
7.	8. HEATER MECH. RM.
9. ACCU-2	10. Spare High leg
11.	12. Water heater
13.	14. Rear
15. ACCU-3	16. Hallway
17.	18. Heater
19.	20.
21. ACCU-4	22. FRONT HALLWAY HEATER
23.	24.
25.	26. GFU BOOSTER FANS
27. EDC-1	28. Space High Leg
29.	30. Dryer
31. FURNACE	32. Dryer
33. Space High leg	34. Space High Leg
35. FURNACE	36. Space
37.	38. LP-1
39. RP-1	40.
	42.
31	32
33	34
35	36
37	38
39	40
41	42

114B361H01





COMMUNITY HIGH SCHOOL
DISTRICT 99

Wight

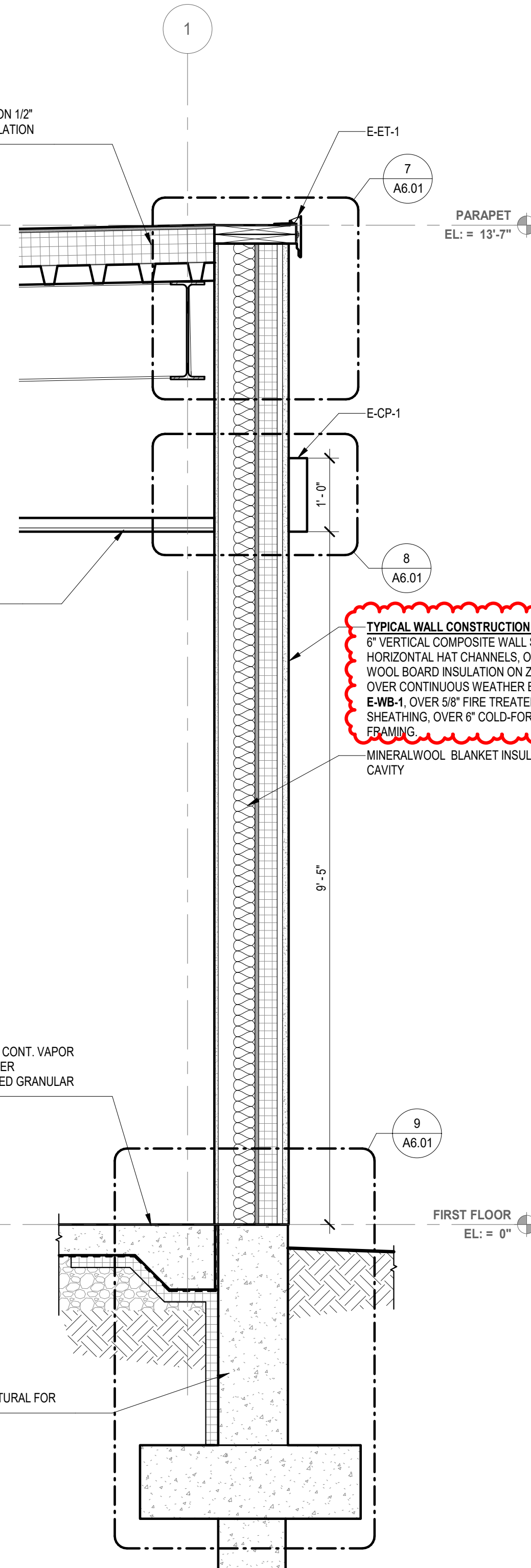
Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

TYPICAL ROOF CONSTRUCTION:
SINGLE PLY MEMBRANE ROOF E-RM-1 ON 1/2"
COVERBOARD ON 5.5" MIN. ROOF INSULATION
(MIN R-30) ON METAL DECK

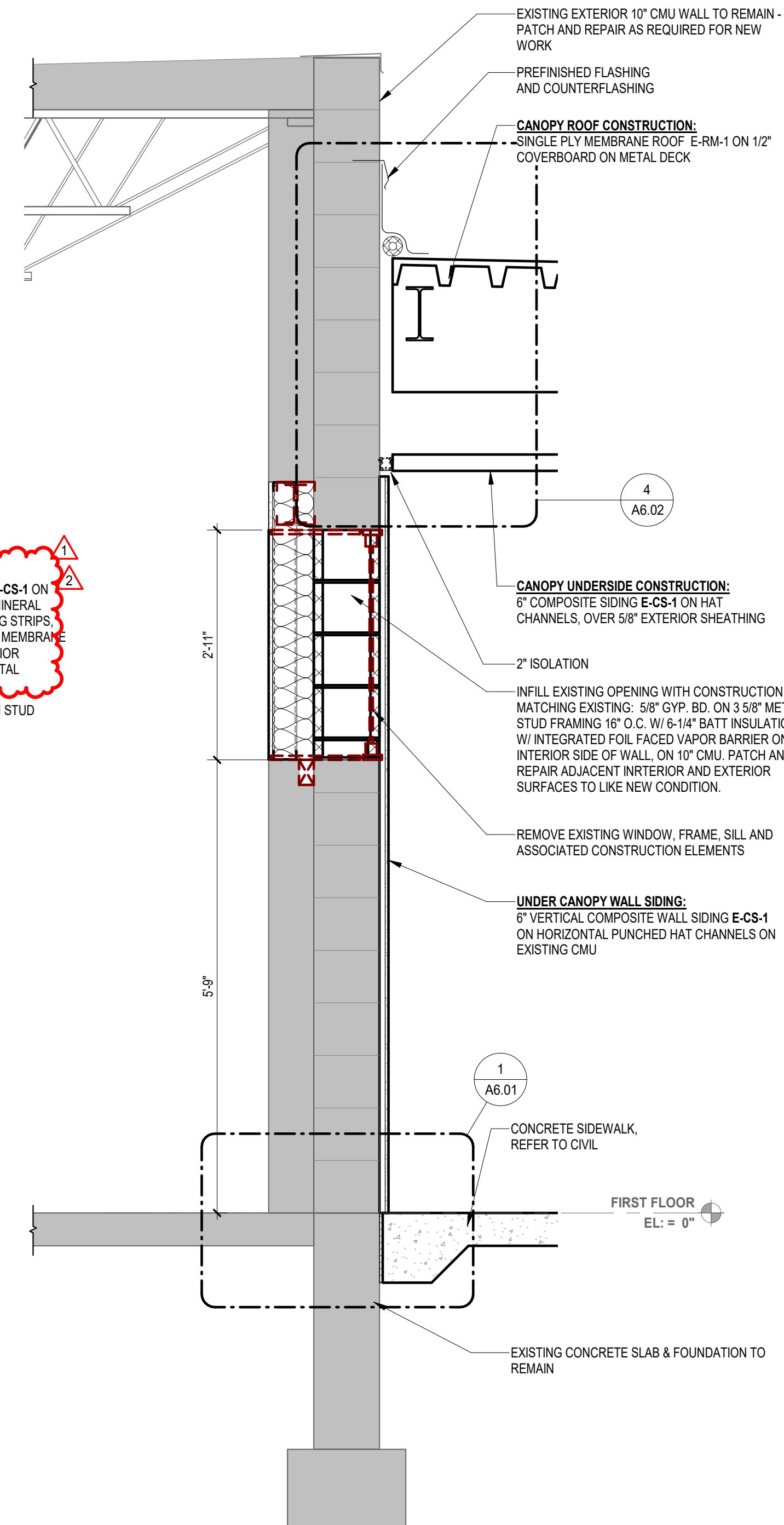
CEILING AS SCHEDULED, REFER TO
CEILING PLANS

TYPICAL SLAB CONSTRUCTION:
5" REINFORCED CONCRETE SLAB OVER CONT. VAPOR
BARRIER OVER 2" THICK RIGID PERIMETER
INSULATION (MIN R-10) OVER COMPACTED GRANULAR
FILL

CONCRETE FOUNDATION - SEE STRUCTURAL FOR
DIMENSIONS AND REINFORCEMENT



3 NORTH WALL SECTION
SCALE: 3/4" = 1'-0"



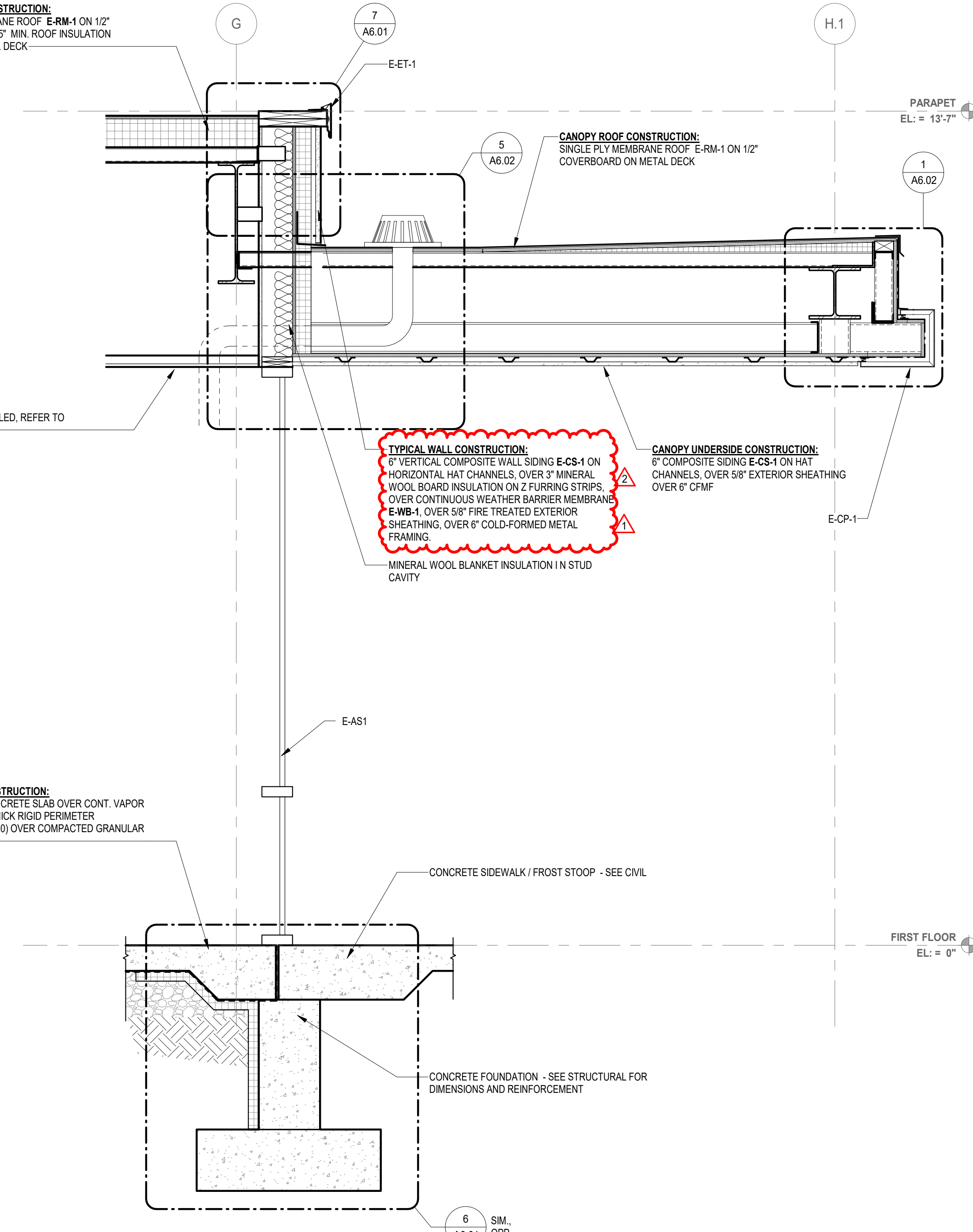
2 SOUTH WALL SECTION
SCALE: 3/4" = 1'-0"

TYPICAL ROOF CONSTRUCTION:
SINGLE PLY MEMBRANE ROOF E-RM-1 ON 1/2"
COVERBOARD ON 5.5" MIN. ROOF INSULATION
(MIN R-30) ON METAL DECK

CEILING AS SCHEDULED, REFER TO
CEILING PLANS

TYPICAL SLAB CONSTRUCTION:
5" REINFORCED CONCRETE SLAB OVER CONT. VAPOR
BARRIER OVER 2" THICK RIGID PERIMETER
INSULATION (MIN R-10) OVER COMPACTED GRANULAR
FILL

CONCRETE FOUNDATION - SEE STRUCTURAL FOR
DIMENSIONS AND REINFORCEMENT



1 EAST WALL SECTION
SCALE: 3/4" = 1'-0"

2	ADDENDUM 3	10/31/2022
1	ADDENDUM 2	10/21/2022
	ISSUE FOR BID	9/28/2022
	ISSUE FOR OWNER REVIEW	09/14/2022
	ISSUE FOR DESIGN DEVELOPMENT	08/12/2022
REV	DESCRIPTION	DATE

TRANSITION BUILDING ADDITION

4232 VENARD ROAD
DOWNERS GROVE, IL 60516

EXTERIOR WALL SECTIONS

Project Number:
200191
Drawn By:
DA
Sheet:

A5.00



COMMUNITY HIGH SCHOOL
DISTRICT 99

Wight

Wight & Company
wightco.com

2500 North Frontage Road
Darien, IL 60561

P 630.969.7000
F 630.969.7979

2	ADDENDUM 3	10/31/2022
1	ADDENDUM 2	10/21/2022
	ISSUE FOR BID	9/28/2022
	ISSUE FOR OWNER REVIEW	09/14/2022
	ISSUE FOR DESIGN DEVELOPMENT	08/12/2022
REV	DESCRIPTION	DATE

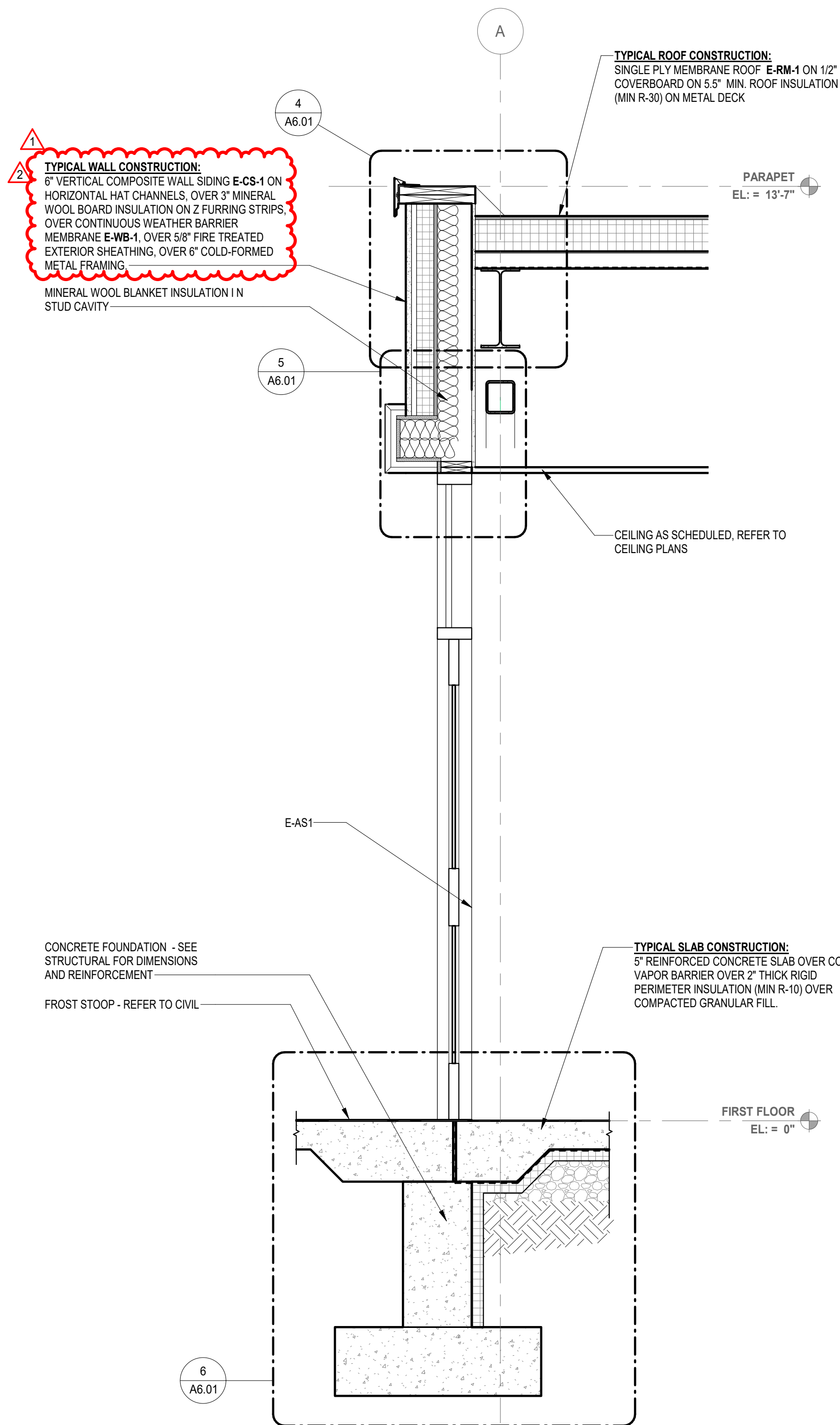
TRANSITION BUILDING ADDITION

4232 VENARD ROAD
DOWNERS GROVE, IL 60516

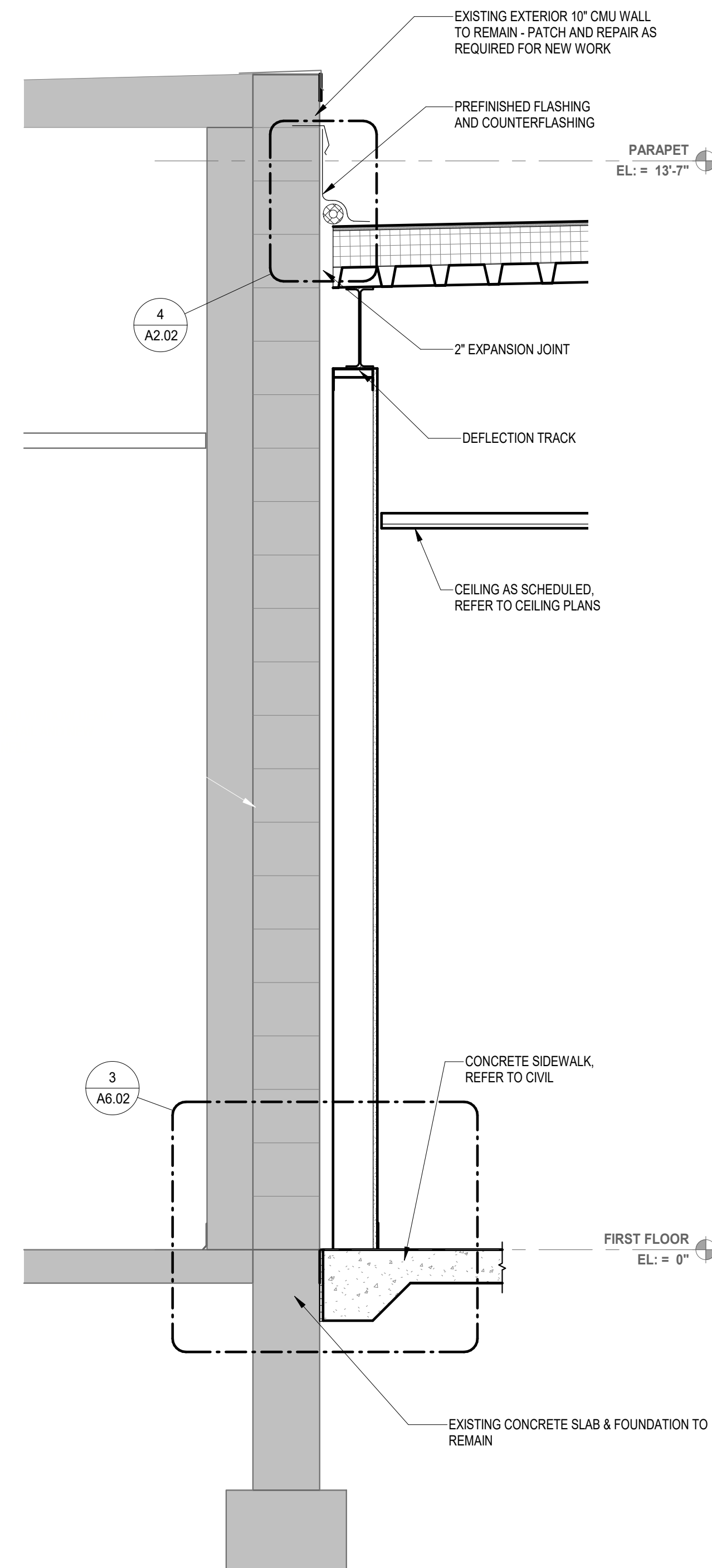
EXTERIOR WALL SECTIONS

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200191
Drawn By:
Author
Sheet:

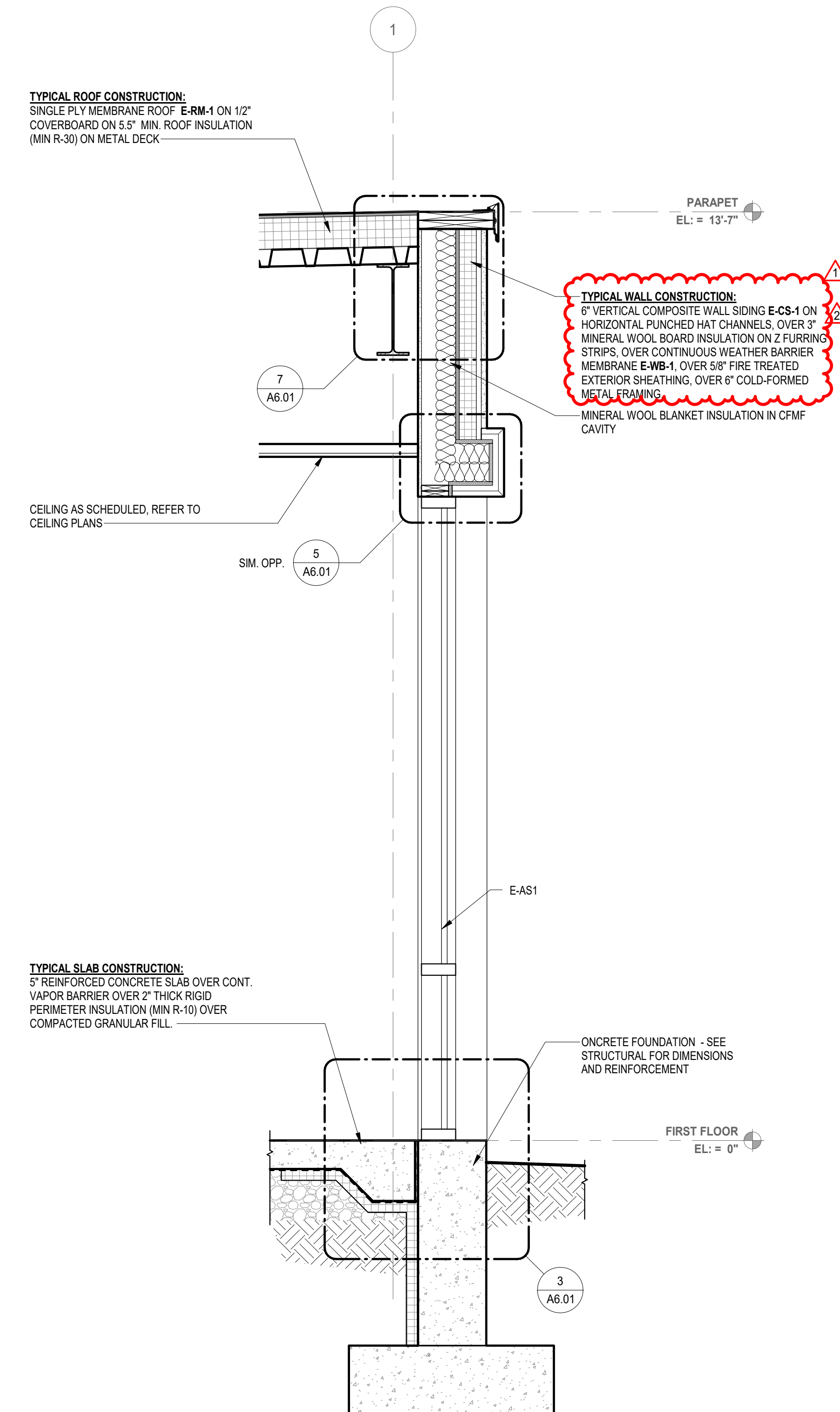
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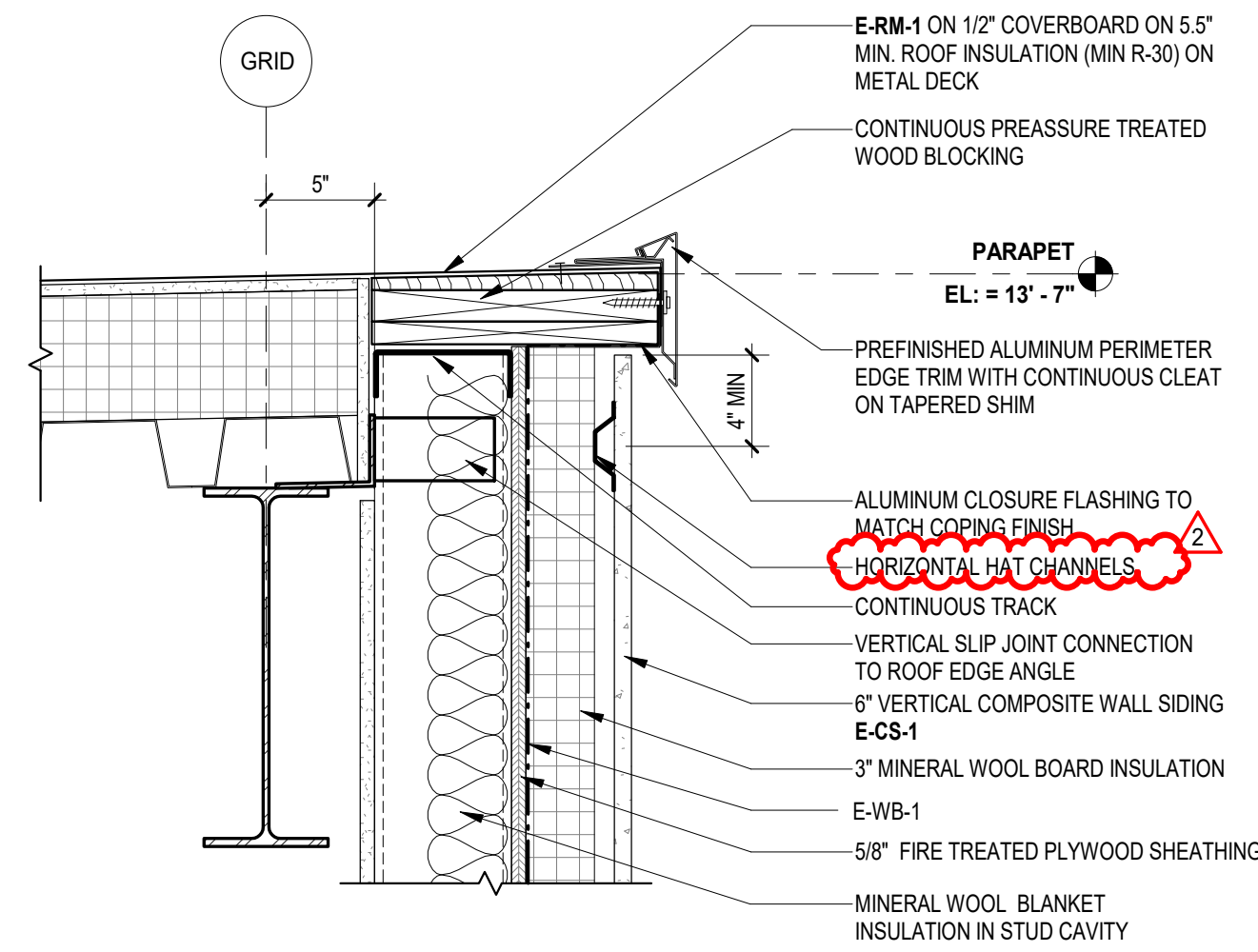


2 SOUTH WALL SECTION
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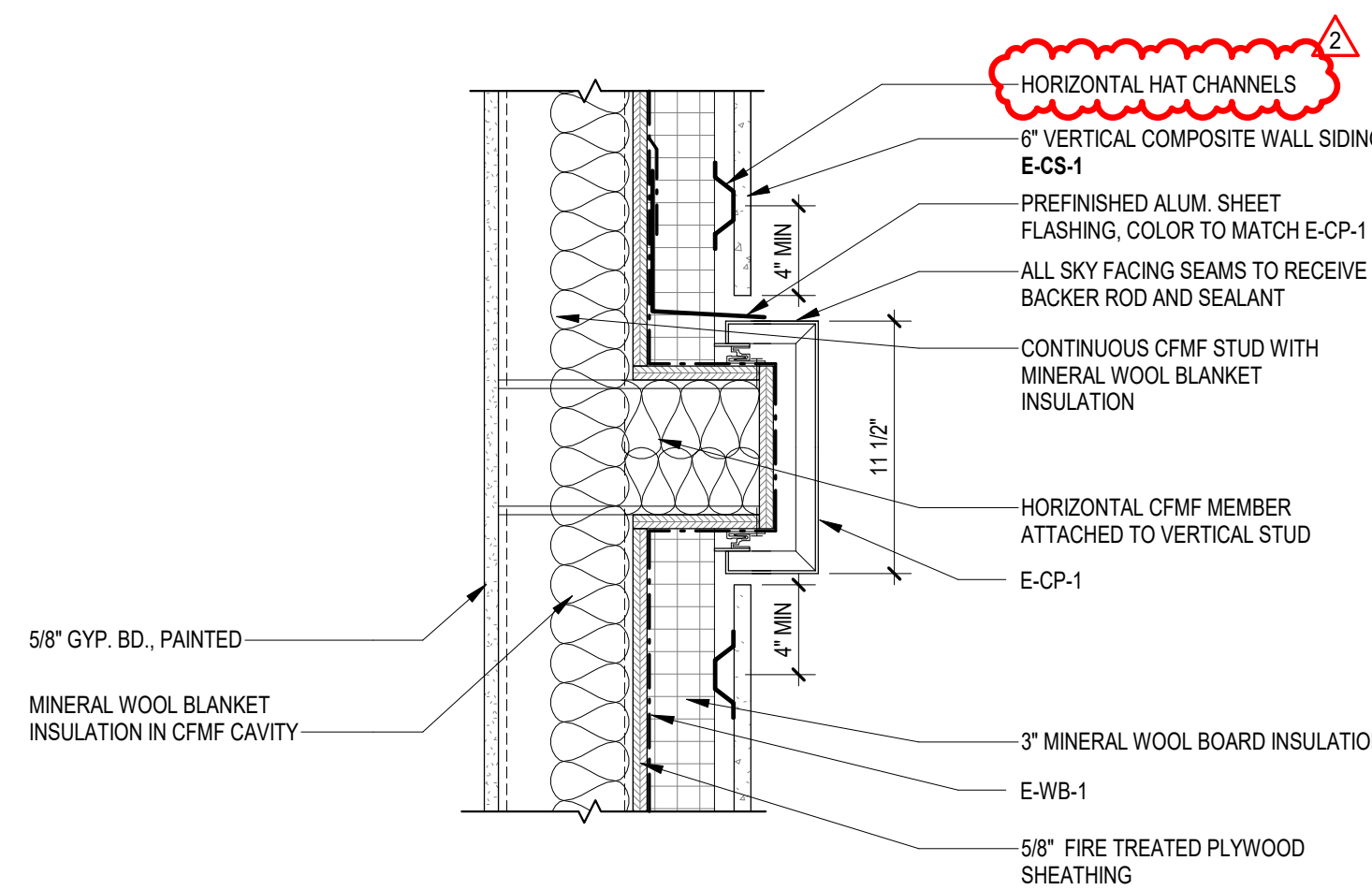


1 NORTH WALL SECTION @ WINDOW
SCALE: 3/4" = 1'-0"

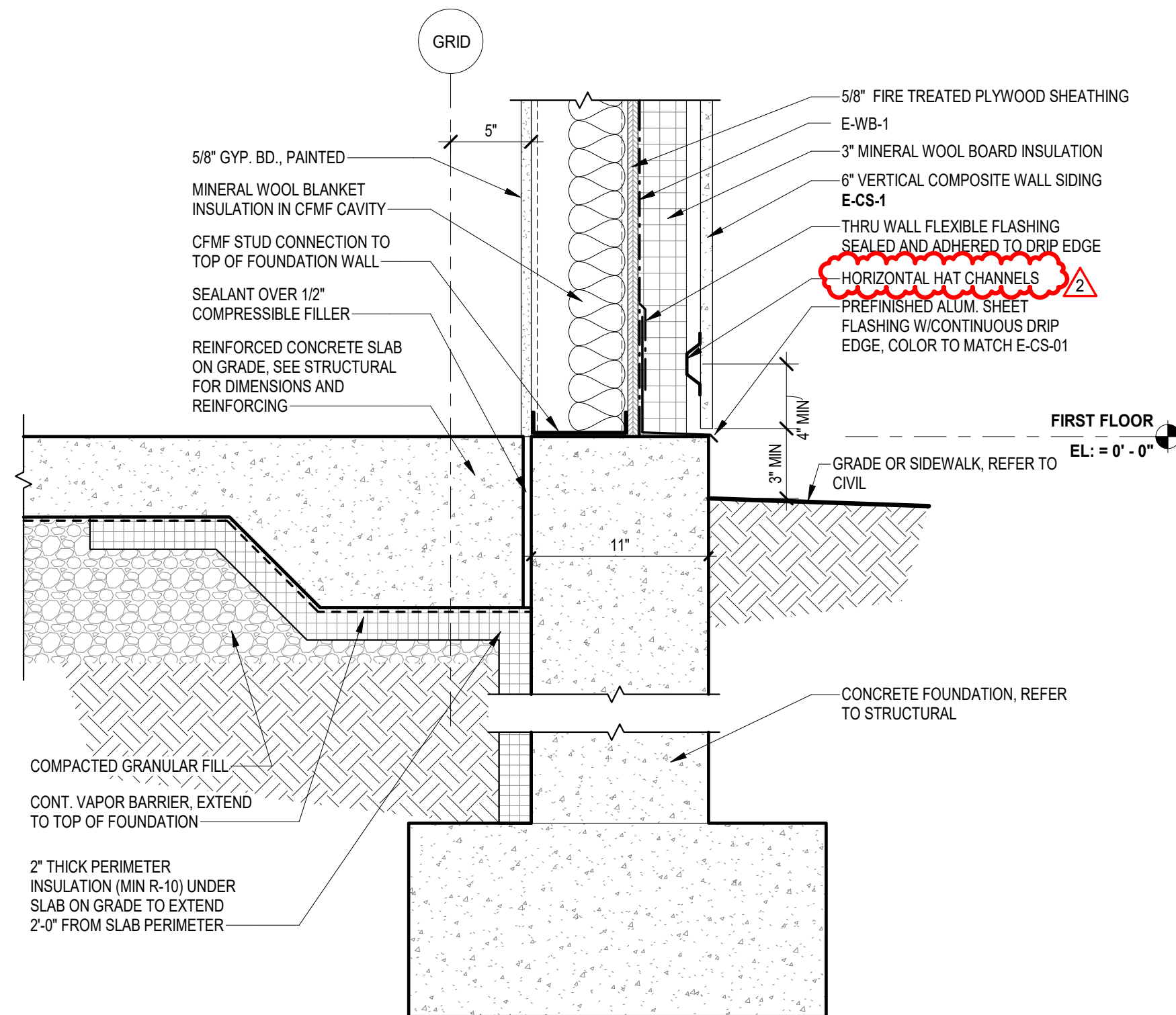
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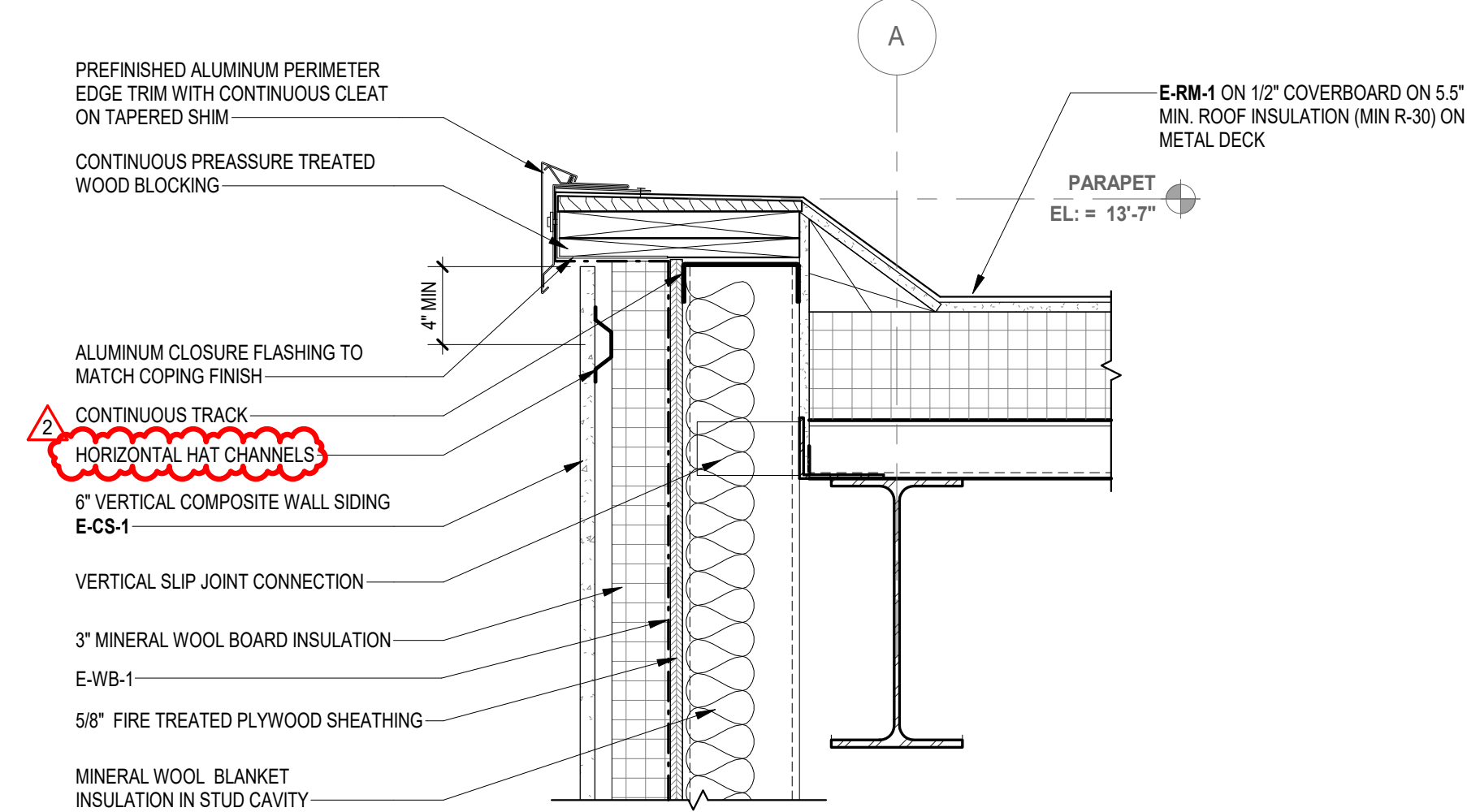
7 PERIMETER EDGE DETAIL
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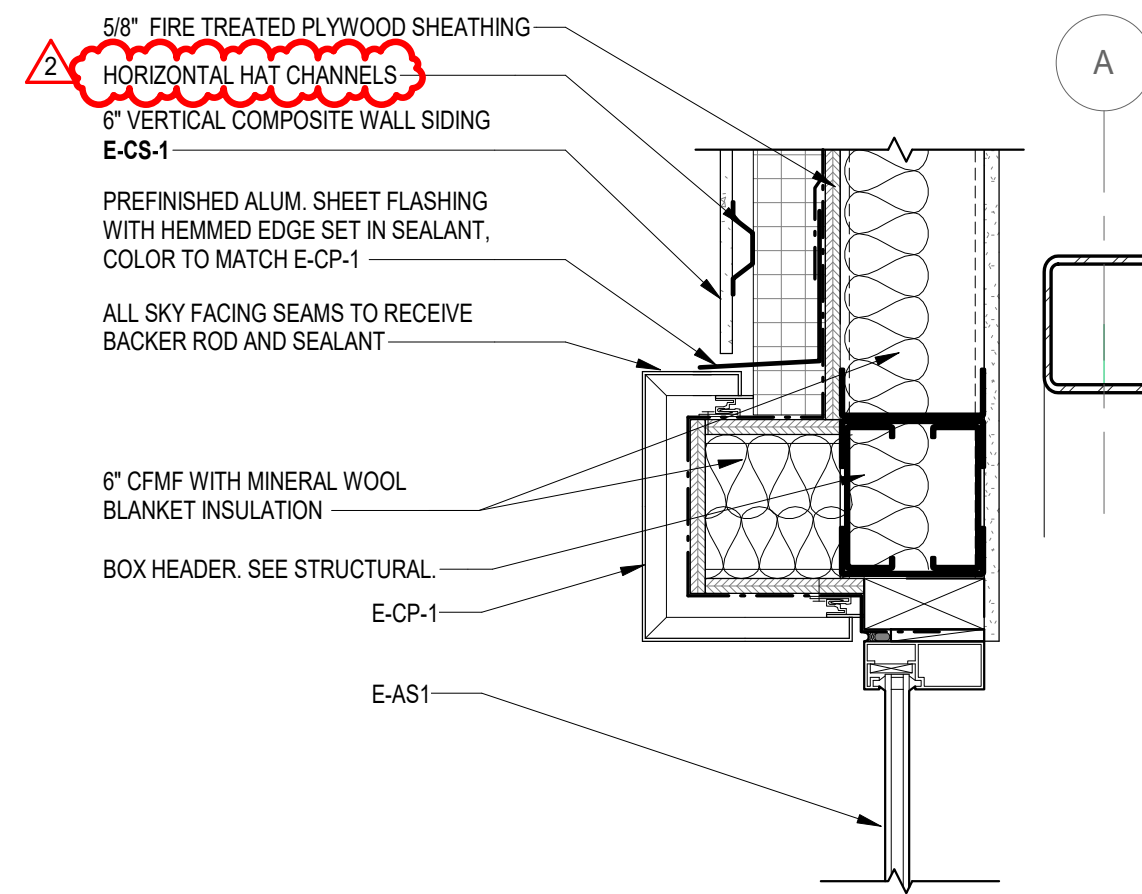
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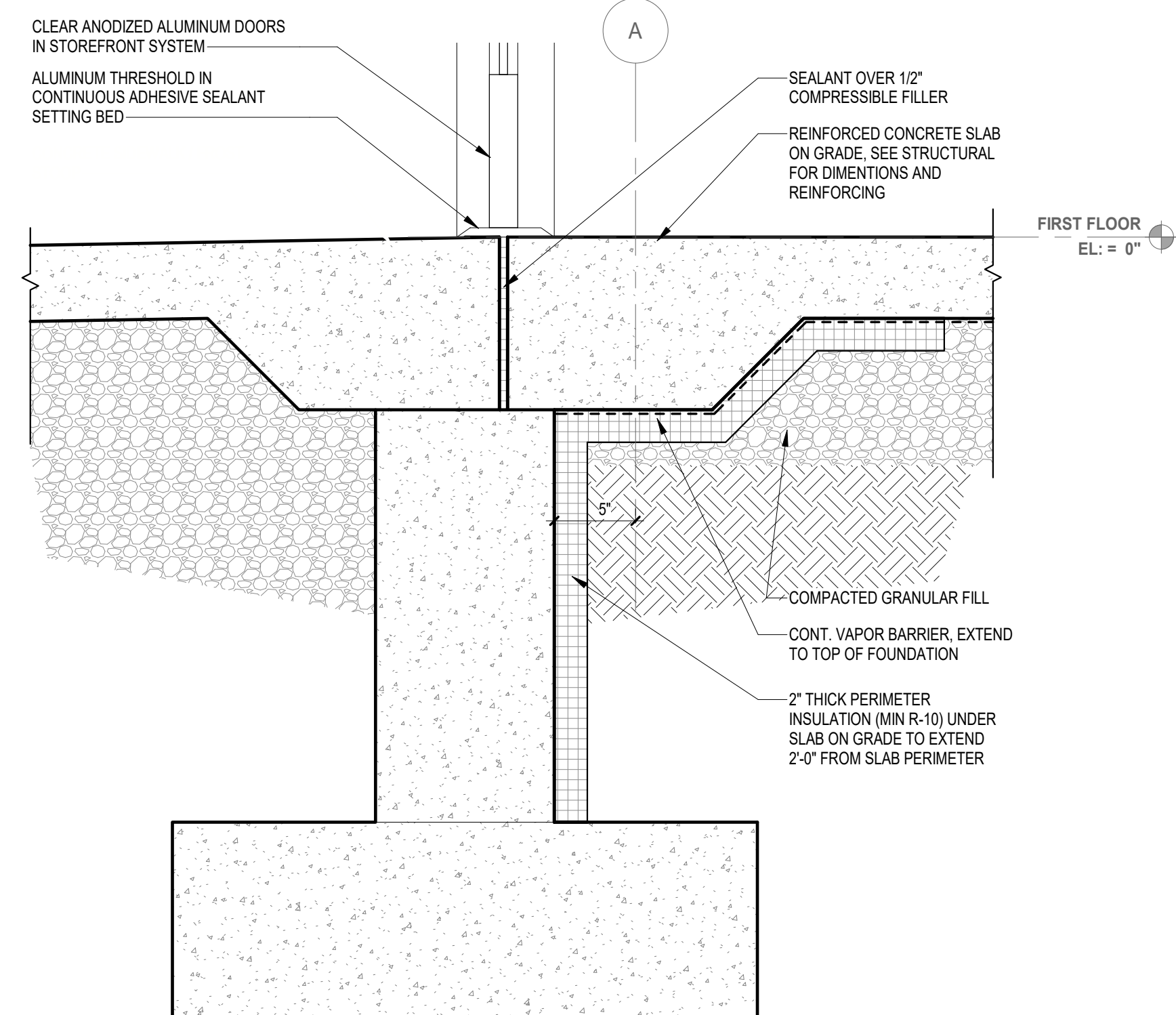
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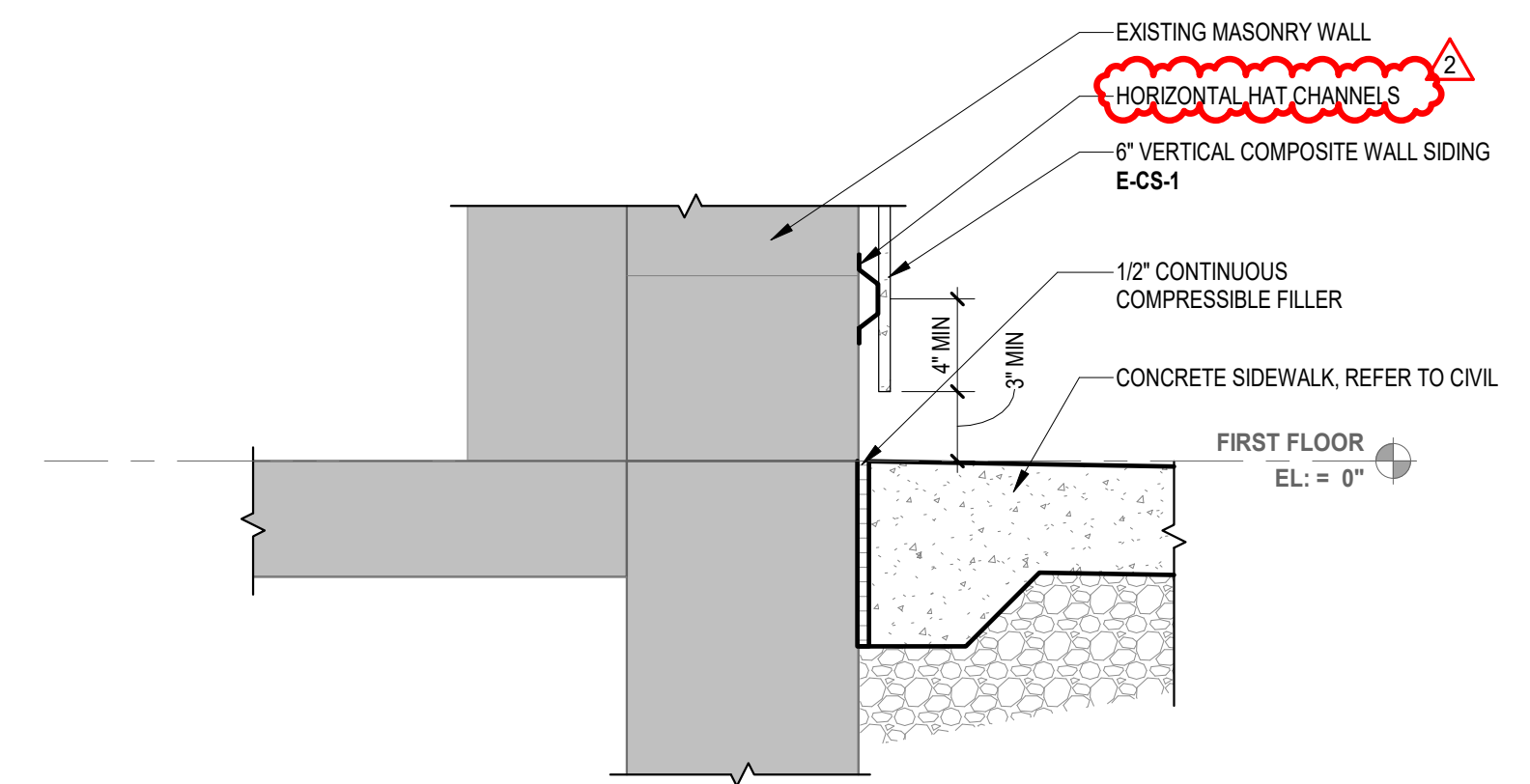
4 PERIMETER EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



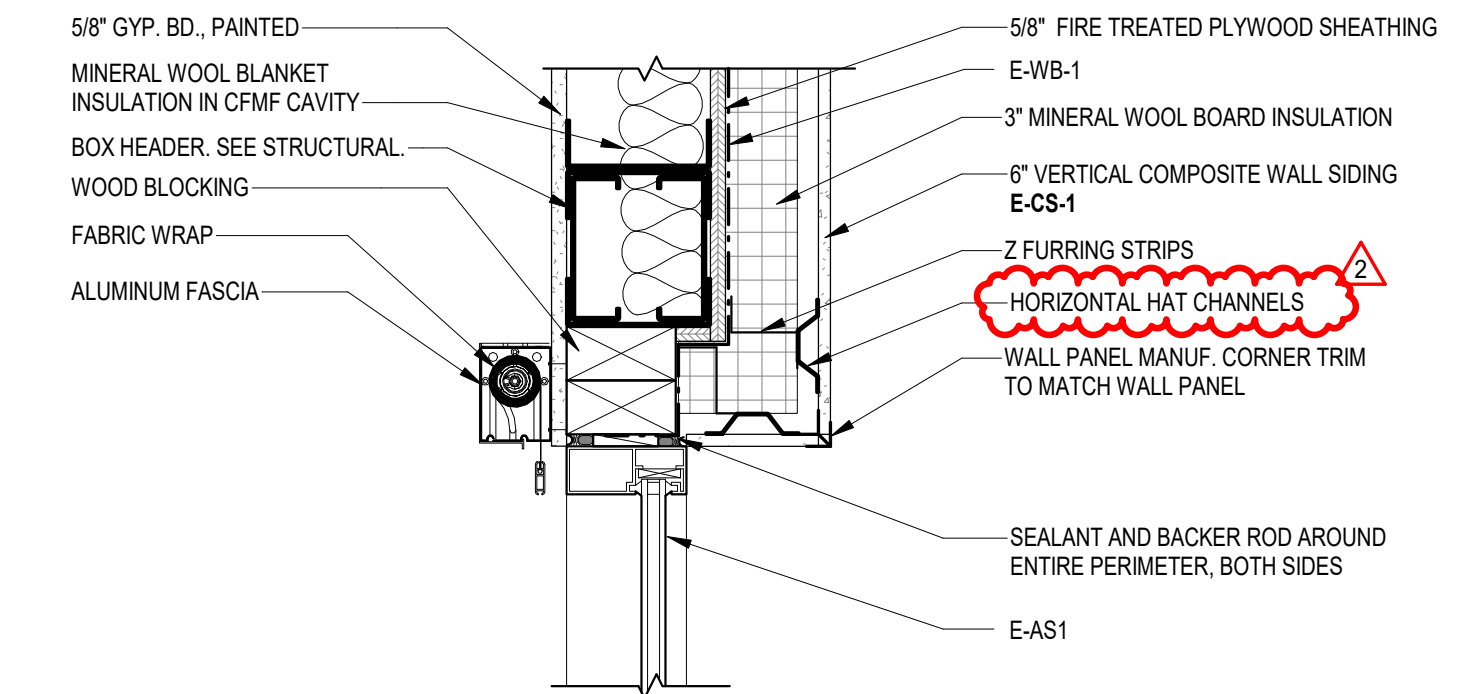
5 TYPICAL STOREFRONT HEADER
SCALE: 1 1/2" = 1'-0"



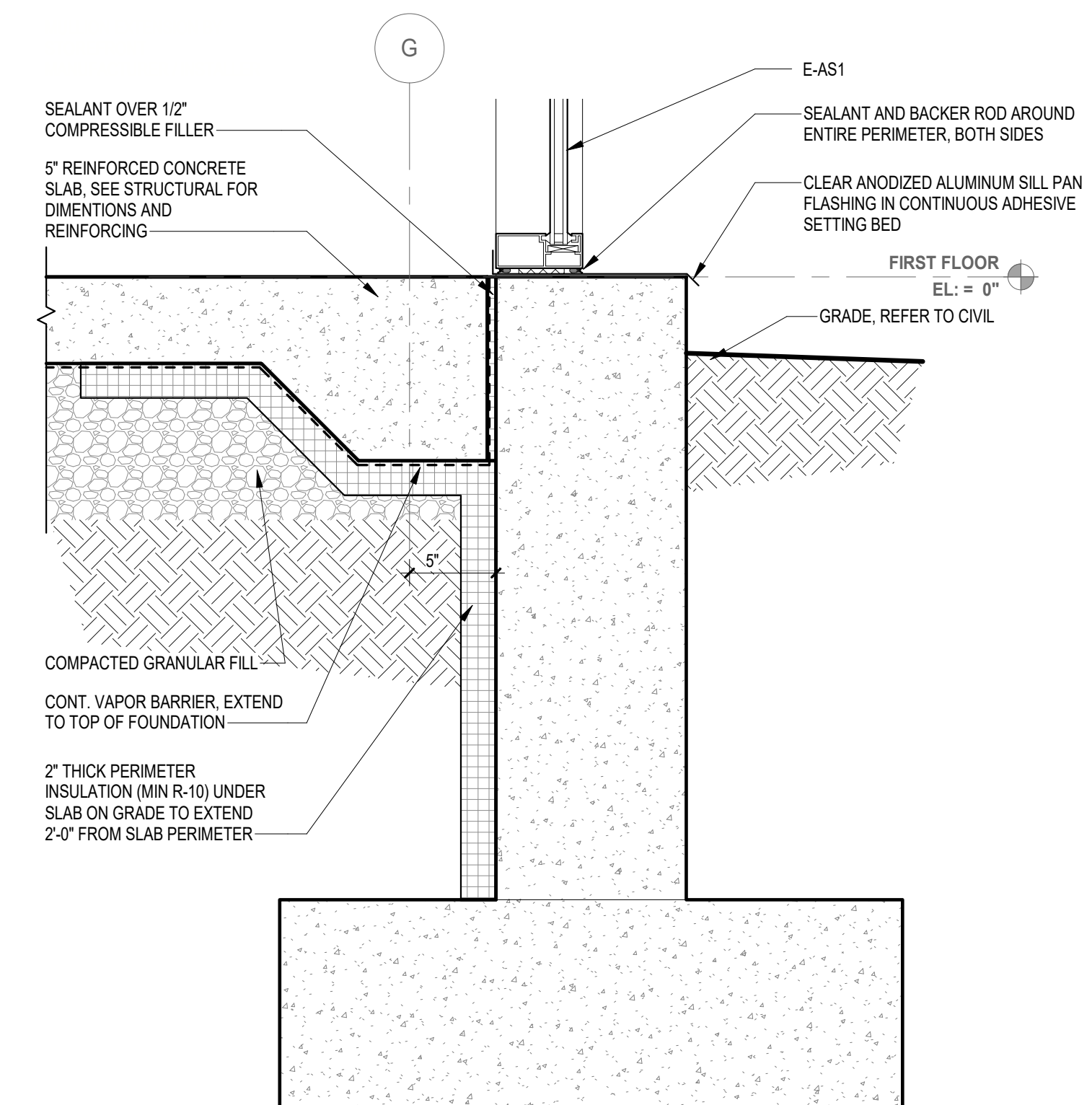
6 SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



1 SIDING AT EXISTING WALL
SCALE: 1 1/2" = 1'-0"



2 TYP. STOREFRONT JAMB
SCALE: 1 1/2" = 1'-0"



3 FOUNDATION DETAIL
SCALE: 1 1/2" = 1'-0"



COMMUNITY HIGH SCHOOL
DISTRICT 99



Wight & Company
wightco.com

2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

2	ADDENDUM 3	10/31/2022
	ISSUE FOR BID	9/28/2022
	ISSUE FOR OWNER REVIEW	09/14/2022
	ISSUE FOR DESIGN DEVELOPMENT	08/12/2022
REV	DESCRIPTION	DATE

TRANSITION BUILDING ADDITION

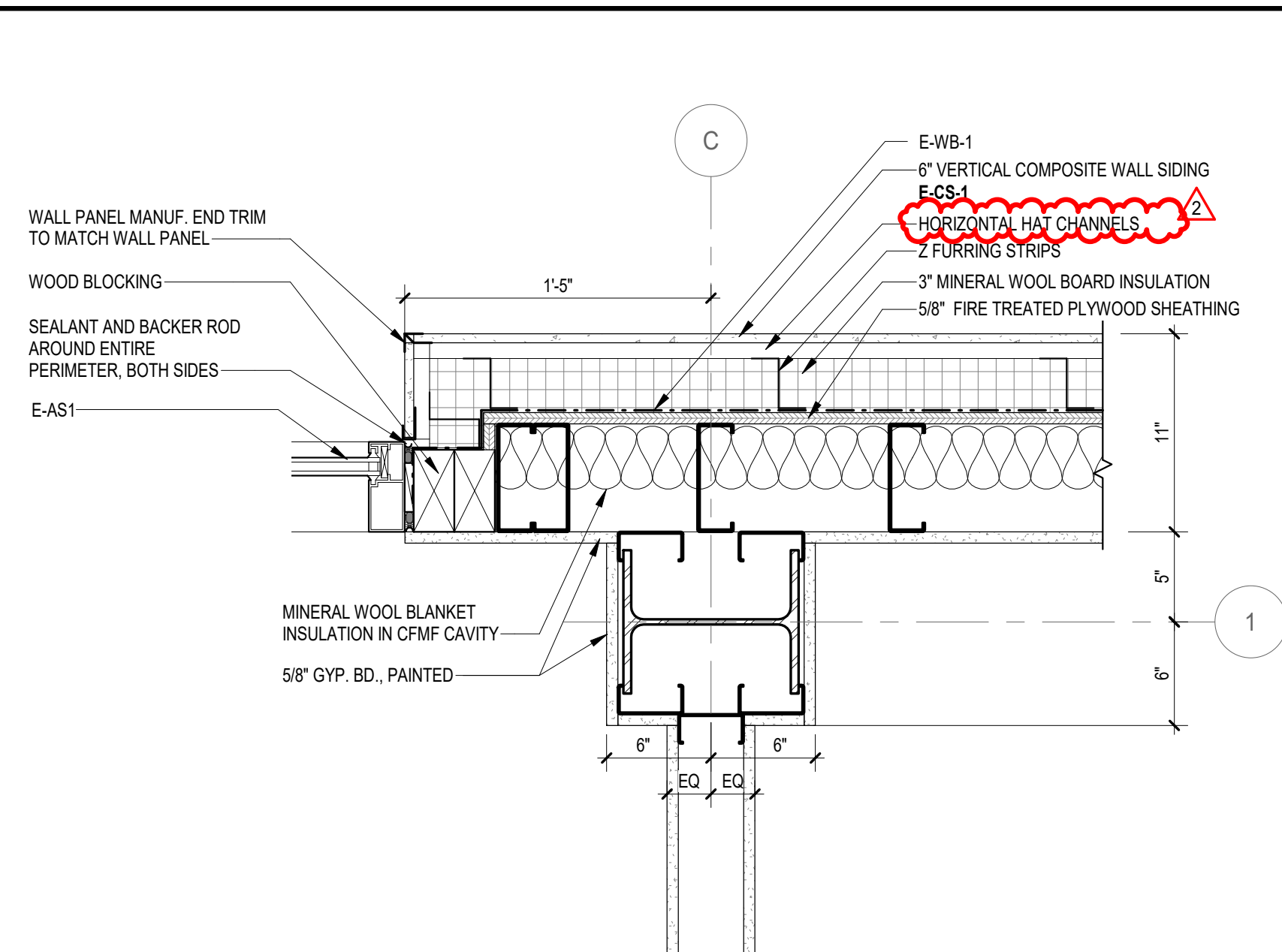
4232 VENARD ROAD
DOWNERS GROVE, IL 60516

SECTION DETAILS

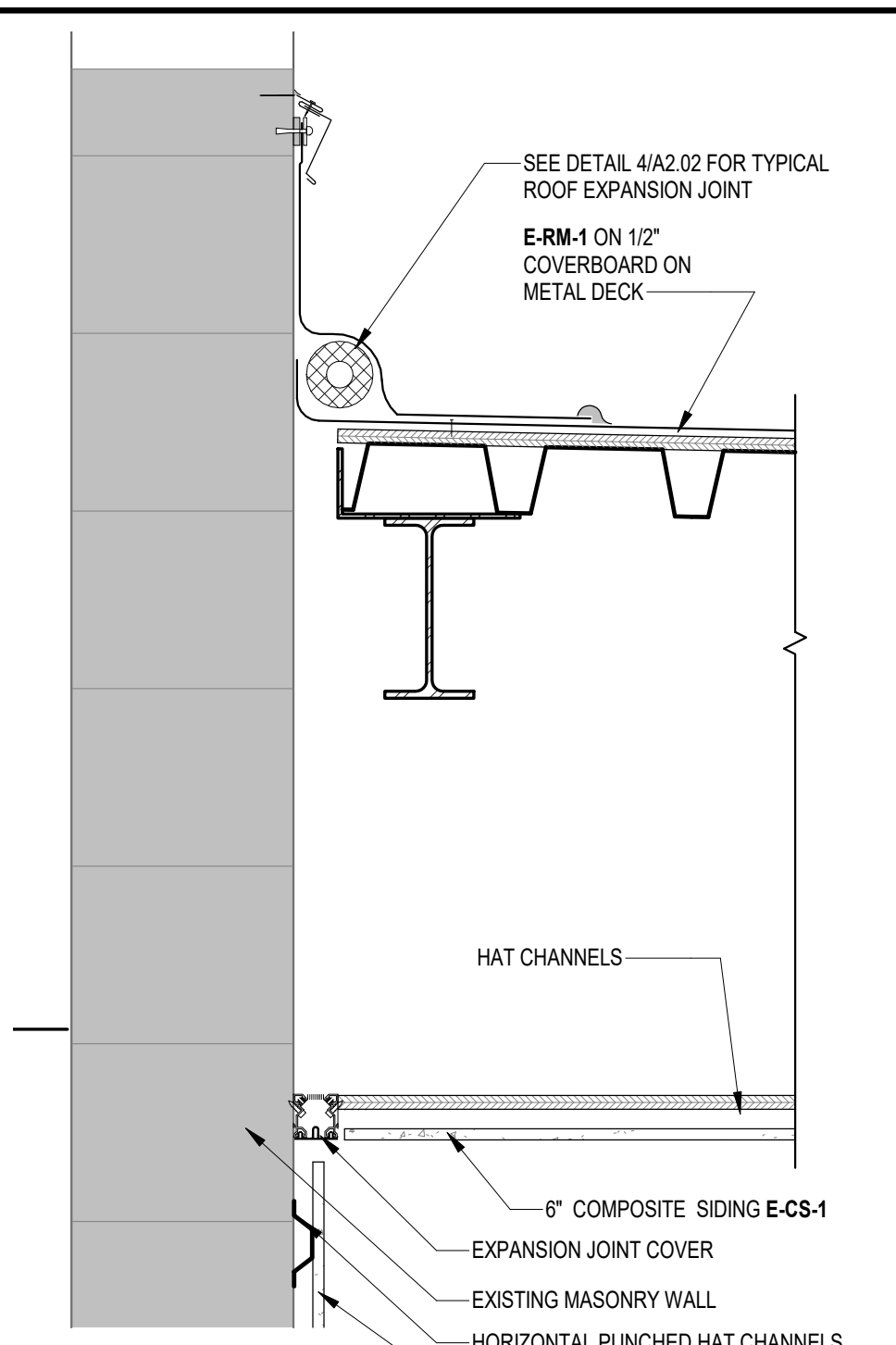
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Drawn By:
Author
Sheet:

A6.01

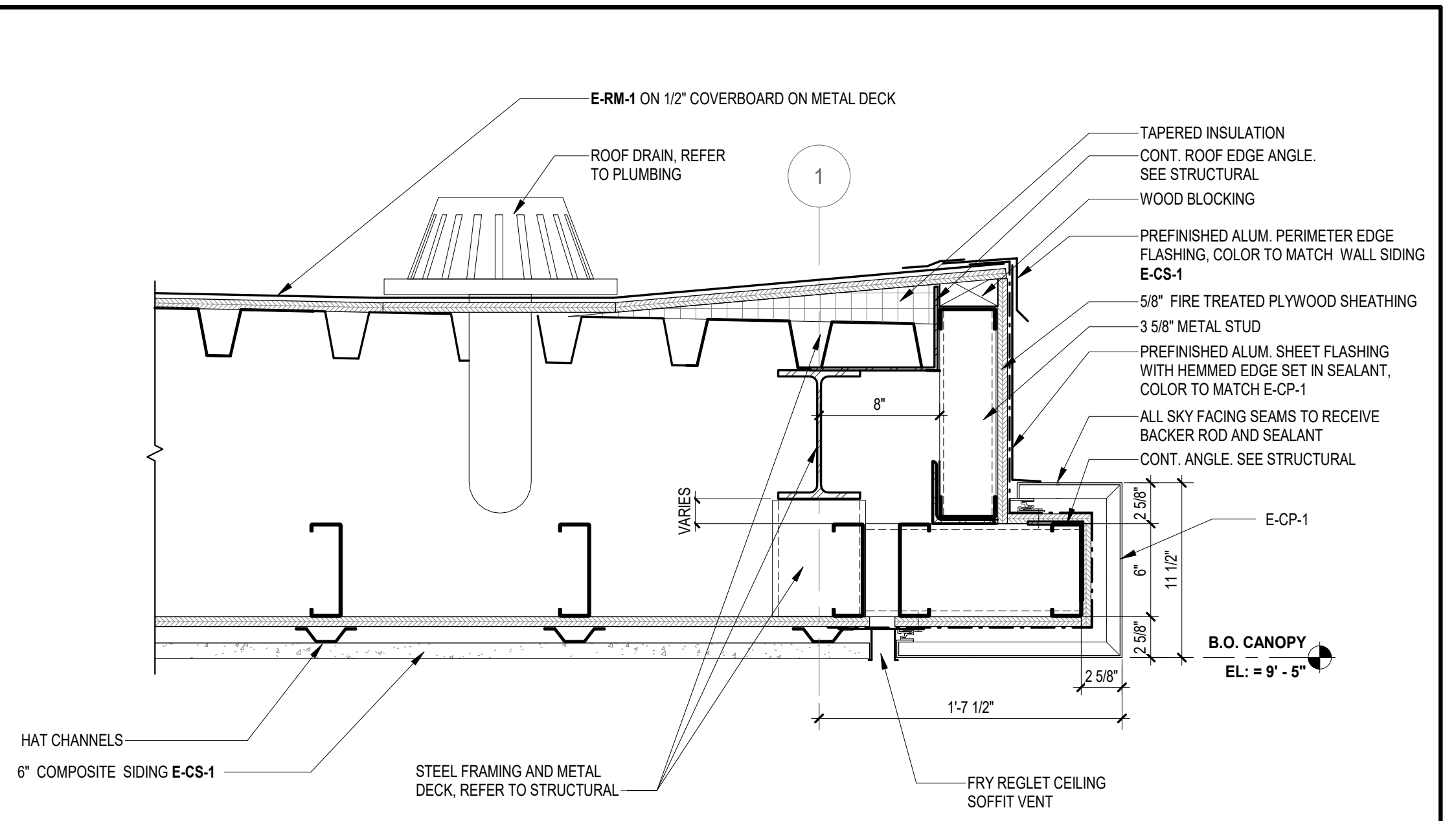
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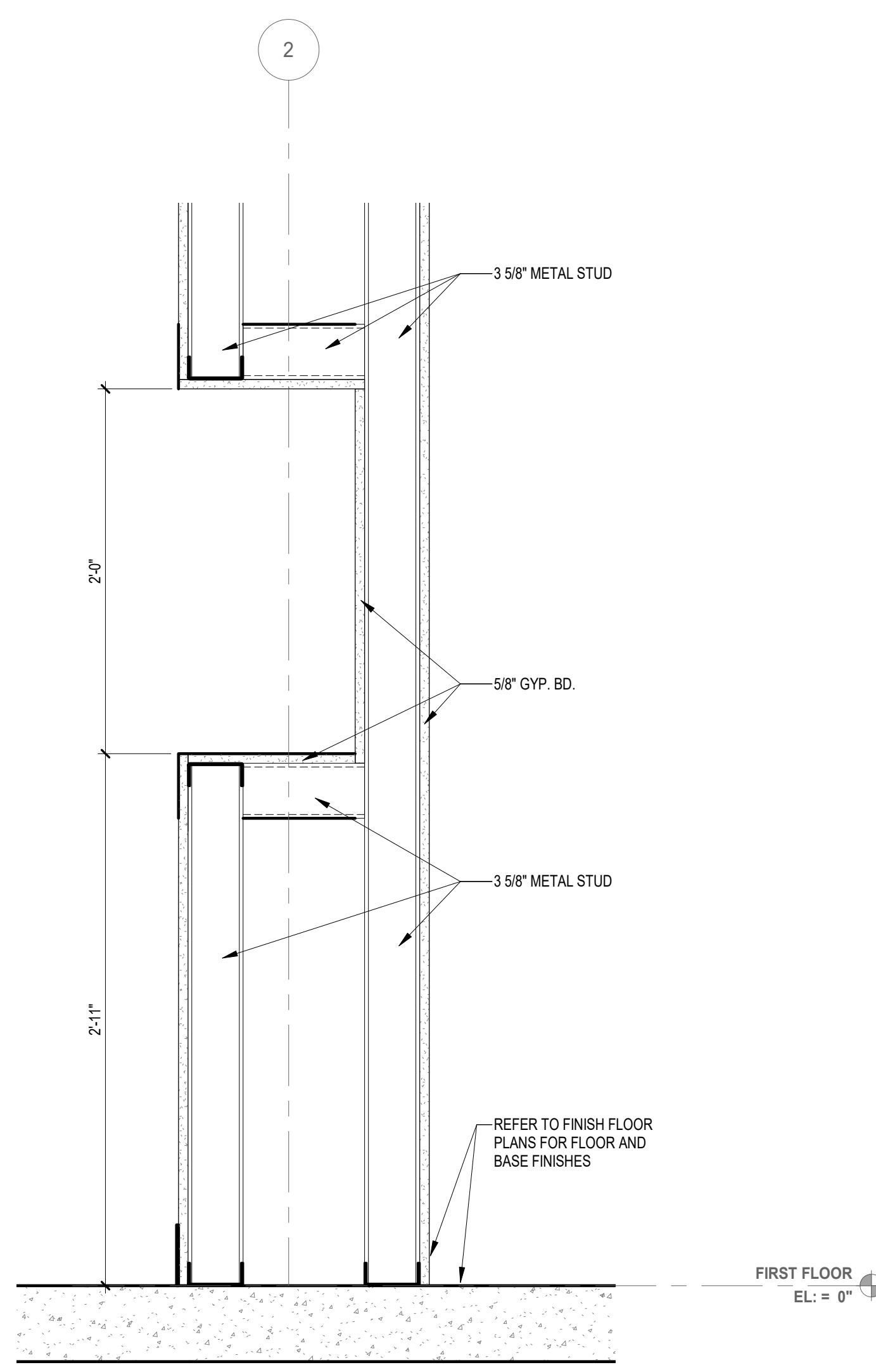
7 TYP COLUMN ENCLOSURE
SCALE: 1 1/2" = 1'-0"



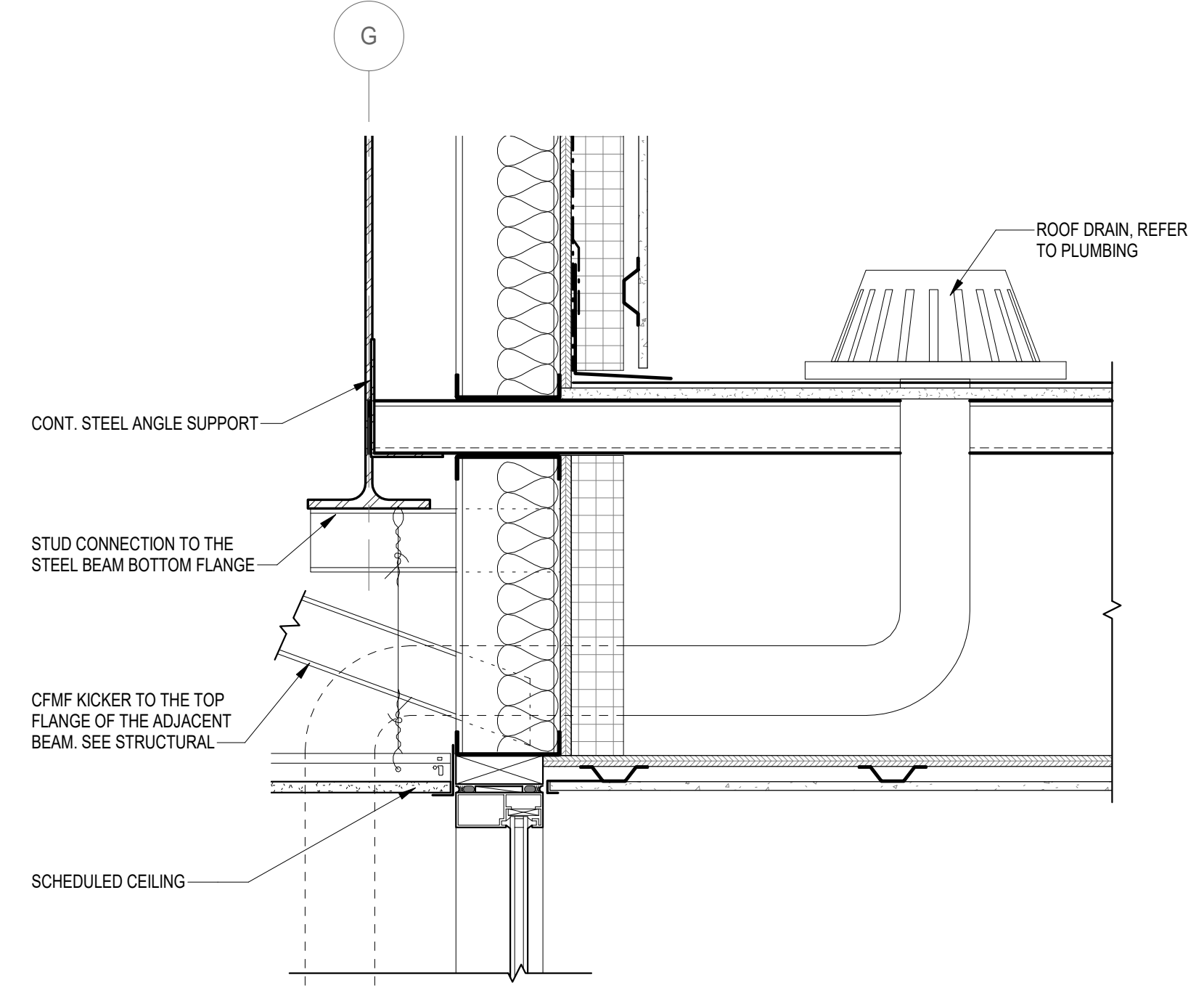
4 CANOPY AT EXISTING WALL
SCALE: 1 1/2" = 1'-0"



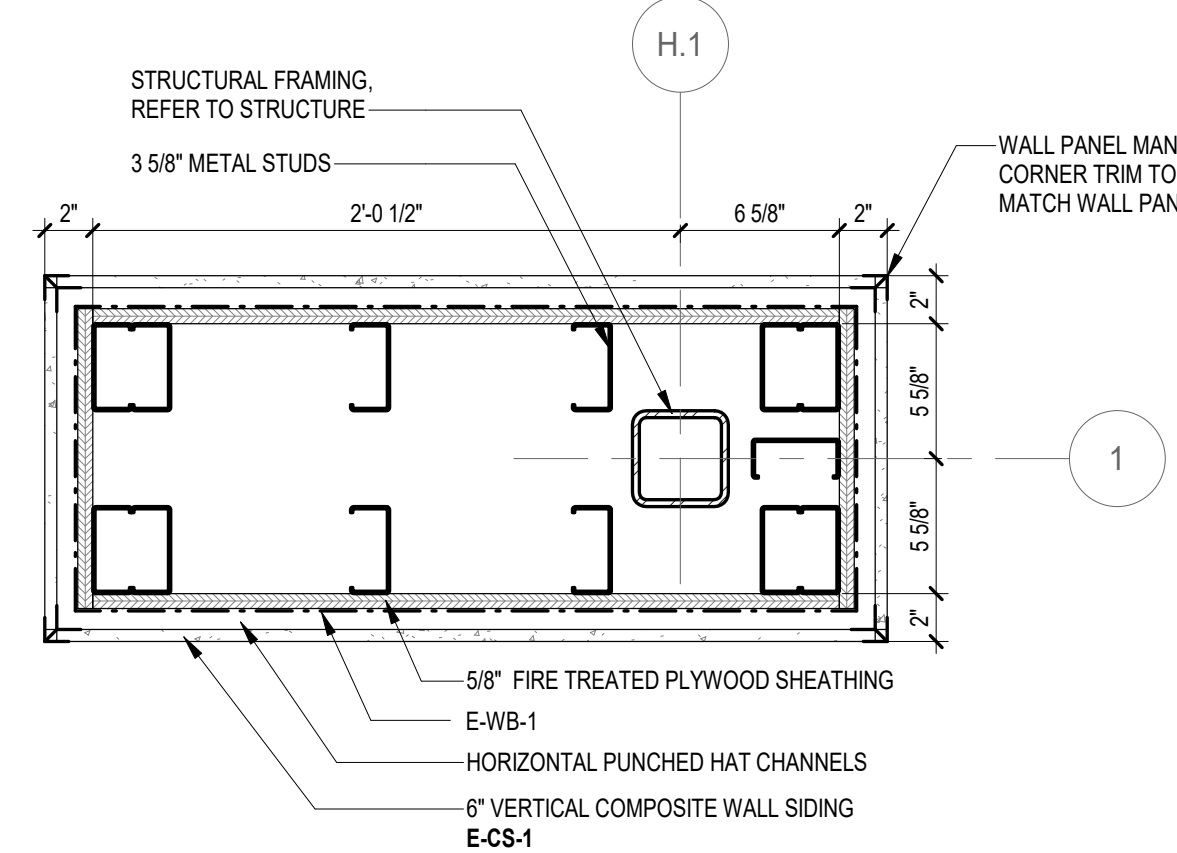
1 CANOPY DETAIL
SCALE: 1 1/2" = 1'-0"



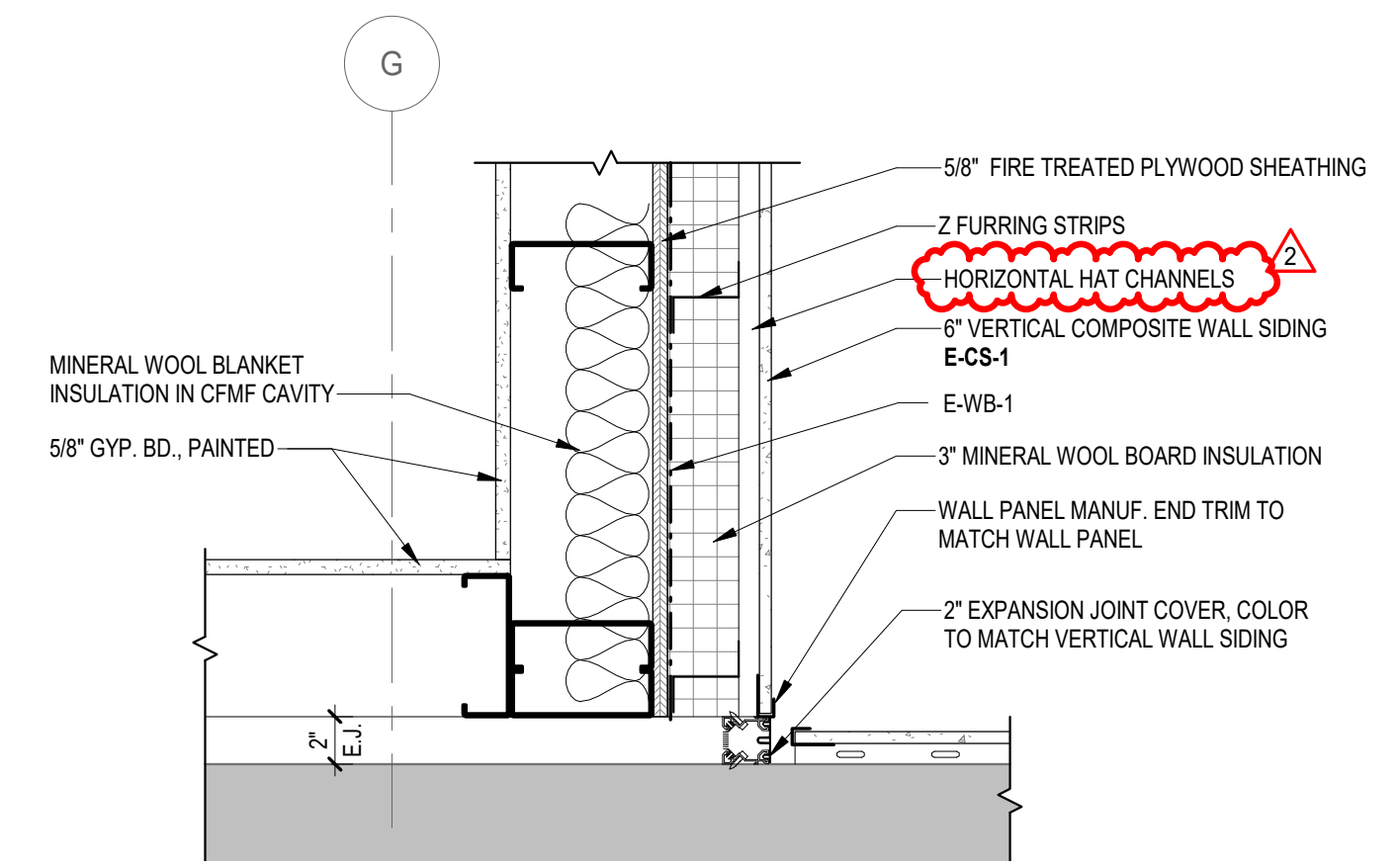
2 RECESS FOR PHONE
SCALE: 1 1/2" = 1'-0"



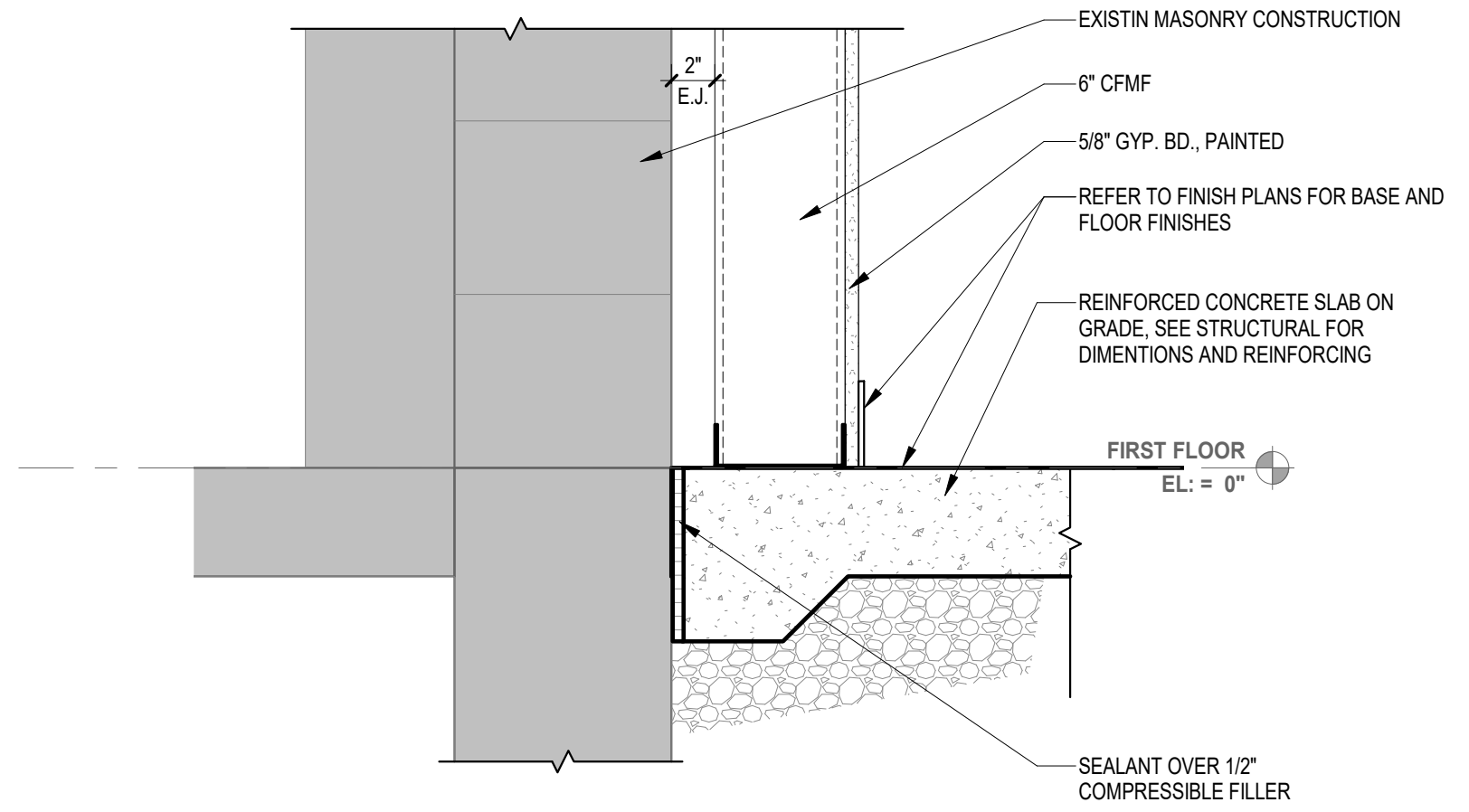
5 CANOPY DETAIL
SCALE: 1 1/2" = 1'-0"



6 ENLARGED CANOPY COLUMN
SCALE: 1 1/2" = 1'-0"



8 PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



3 SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



COMMUNITY HIGH SCHOOL
DISTRICT 99

Wight

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 2500 North Frontage Road
 Darien, IL 60561
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REV	DESCRIPTION	DATE
2	ADDENDUM 3	10/31/2022
	ISSUE FOR BID	9/28/2022
	ISSUE FOR OWNER REVIEW	09/14/2022
	ISSUE FOR DESIGN DEVELOPMENT	08/12/2022

TRANSITION BUILDING ADDITION

4232 VENARD ROAD
DOWNERS GROVE, IL 60516

SECTION DETAILS

Project Number:
 200191
 Drawn By:
 Author
 Sheet:

A6.02

S:\Darien\Downers Grove SD99\INT_T99 Addition\220081 Design\01\11 Drawings\02 CD\220081 C2.00 SITE PLAN.dwg devans Oct 31, 2022 2:47:22 pm
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ZONING ANALYSIS

PROJECT NAME:	T99 BUILDING ADDITION				
ADDRESS:	4232 VENARD ROAD				
PIN(S):	09-06-402-002 & 09-06-213-026				
ZONING DISTRICT:	B3				
EXISTING USE:	TRADE SCHOOL / RESIDENTIAL				
PROPOSED USE:	TRADE SCHOOL				
PETITION TYPE:	ZONING MAP AMENDMENT				
DEVIATIONS:	SIGNAGE SETBACK				
REQUIREMENT	FACTOR	REQUIRED	PROPOSED / EXISTING	MEETS REQUIREMENTS?	DIFFERENCE
LOT FRONTAGE	MINIMUM	N/A	200'	YES	N/A
LOT AREA	MINIMUM	7,500	58,935 SF	YES	N/A
LOT WIDTH	MINIMUM	75'	200'	YES	N/A
STREET YARD	MINIMUM	25'	25'	YES	0
REAR YARD	MINIMUM	20'	30'	YES	10'
SIDE YARD	MINIMUM	10'	14'	YES	4'
HEIGHT	MAXIMUM	60'	15'-8"	YES	44'-4"
OPEN SPACE	MINIMUM	10% (5,894 SF)	11,498 SF	YES	5,604 SF
FAR	MAXIMUM	0.75 (.75 X 58,935 = 44,201)	15,344 / 58,935 = 0.26	YES	0.49
PARKING	MINIMUM	1 SPACE / 4 OCCUPANTS (MAX CAPACITY) = 200 200 OCCUPANTS / 4 = 50 SPACES	54 SPACES	YES	4 SPACES

LEGEND

	FULL DEPTH HMA PAVEMENT AND STONE BASE
	HEAVY DUTY CONCRETE PAVEMENT AND STONE BASE
	PCC SIDEWALK AND STONE BASE
	PERMEABLE PAVERS
	STONE INFILTRATION TRENCH
	PARKING COUNT
	LIGHT POLE
	PROPERTY LINE

SITE KEY NOTES

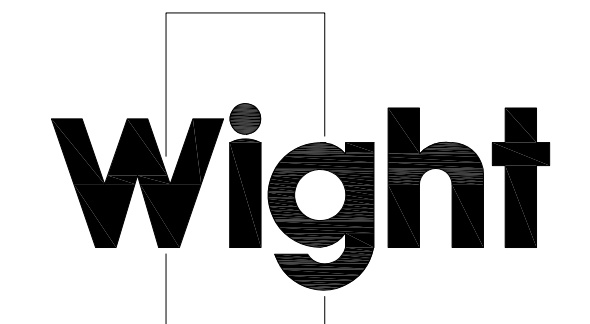
1	B6.12 CURB AND GUTTER
2	INTEGRAL CURB AND SIDEWALK
3	FROST STOOP
4	ADA PARKING STRIPING, TYP.
5	ADA SIGN
6	ADA RAMP AND DETECTIBLE WARNINGS
7	8 HEIGHT PVC FENCE
8	6' HEIGHT CHAIN-LINK FENCE, BLACK VINYL COATED
9	6' HEIGHT CHAIN-LINK FENCE, BLACK VINYL COATED 16' WIDE DOUBLE SWING GATE
10	TRASH ENCLOSURE, 6' HEIGHT SOLID WOOD FENCE
11	MONUMENT SIGN, REFER TO ARCHITECTURAL PLANS
12	FLUSH CONCRETE CONTAINMENT CURB
13	NOT USED
14	STOP SIGN
15	DO NOT ENTER SIGN
16	5' WIDE SINGLE SWING GATE
17	4" SOLID PARKING STRIPE, TRAFFIC WHITE PAINT
18	24" STOP BAR, TRAFFIC WHITE PAINT
19	4" SOLID PARKING STRIPE, 4" O.C., 45° ANGLE, YELLOW
20	TRAFFIC ARROW, TRAFFIC WHITE PAINT
21	TRANSITION FROM CURB TO STONE SHOULDER

SITE PLAN NOTES

- ALL EXISTING CURB TO BE REMOVED UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
- ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.
- ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.
- CONTRACTOR TO COORDINATE WITH SCHOOL ON FINAL LOCATIONS OF SIGNS.
- AREAS TO BE GRADED AND PREPARED FOR SEEDING OR SOD WITHIN THE RIGHT-OF-WAY SHALL INDICATE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL.
- ANY CHANGES MADE TO THE SITE PLAN OR IN THE FIELD DURING CONSTRUCTION MUST BE SUBMITTED IN WRITING TO THE VILLAGE OF DOWNERS GROVE.

LAYOUT NOTE:

- ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.



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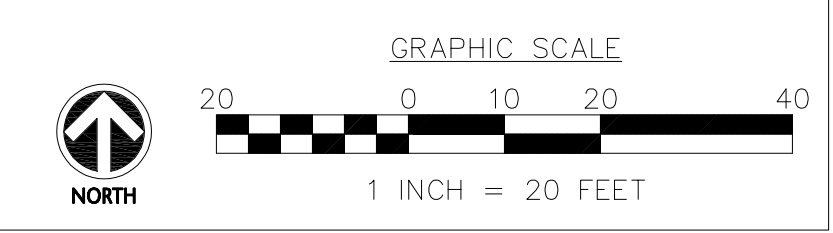
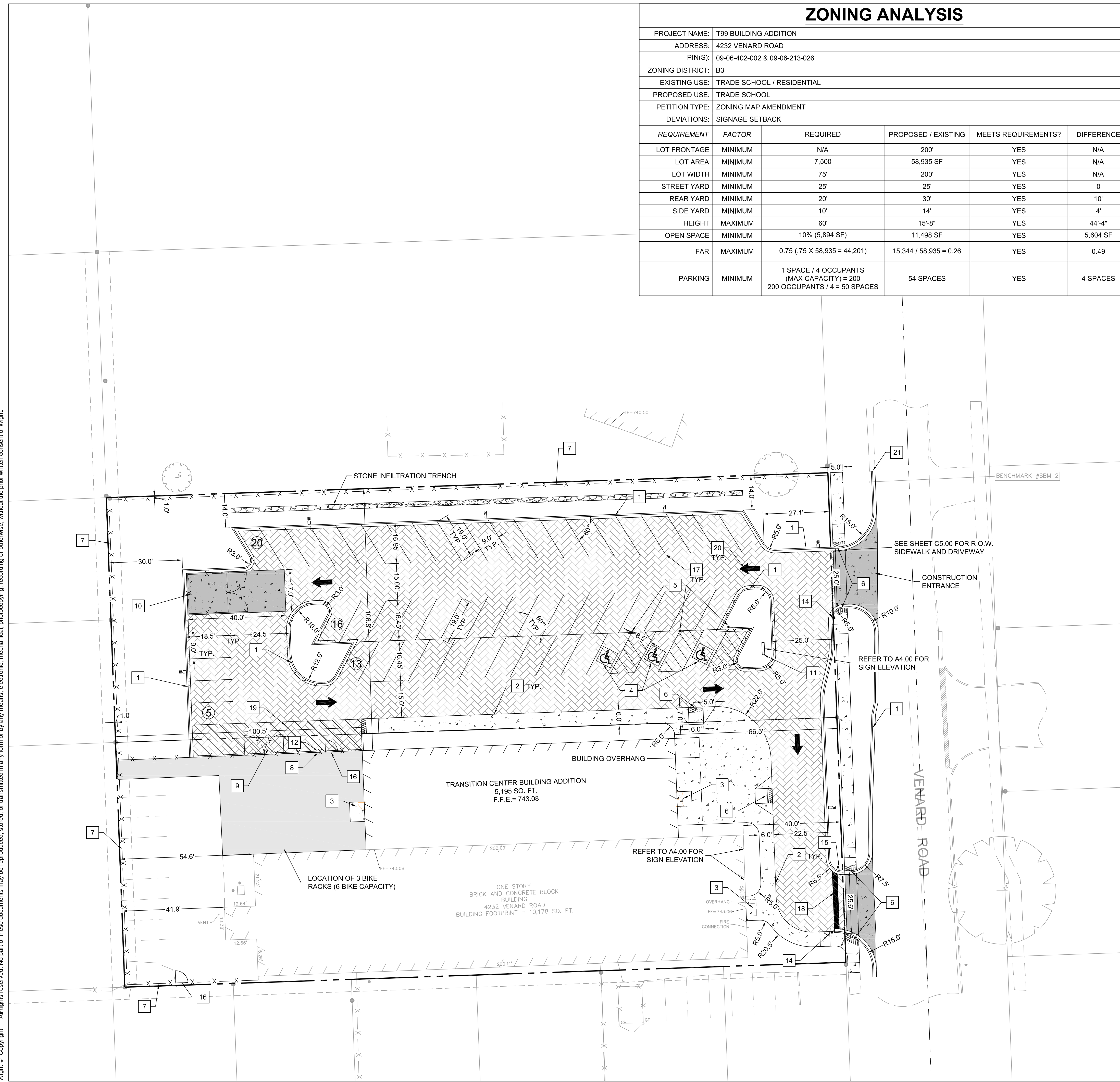
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REV	DESCRIPTION	DATE

**COMMUNITY HIGH SCHOOL DISTRICT 99
 TRANSITION 99
 CENTER ADDITION**
 4232 VENARD ROAD
 DOWNERS GROVE, IL 60515

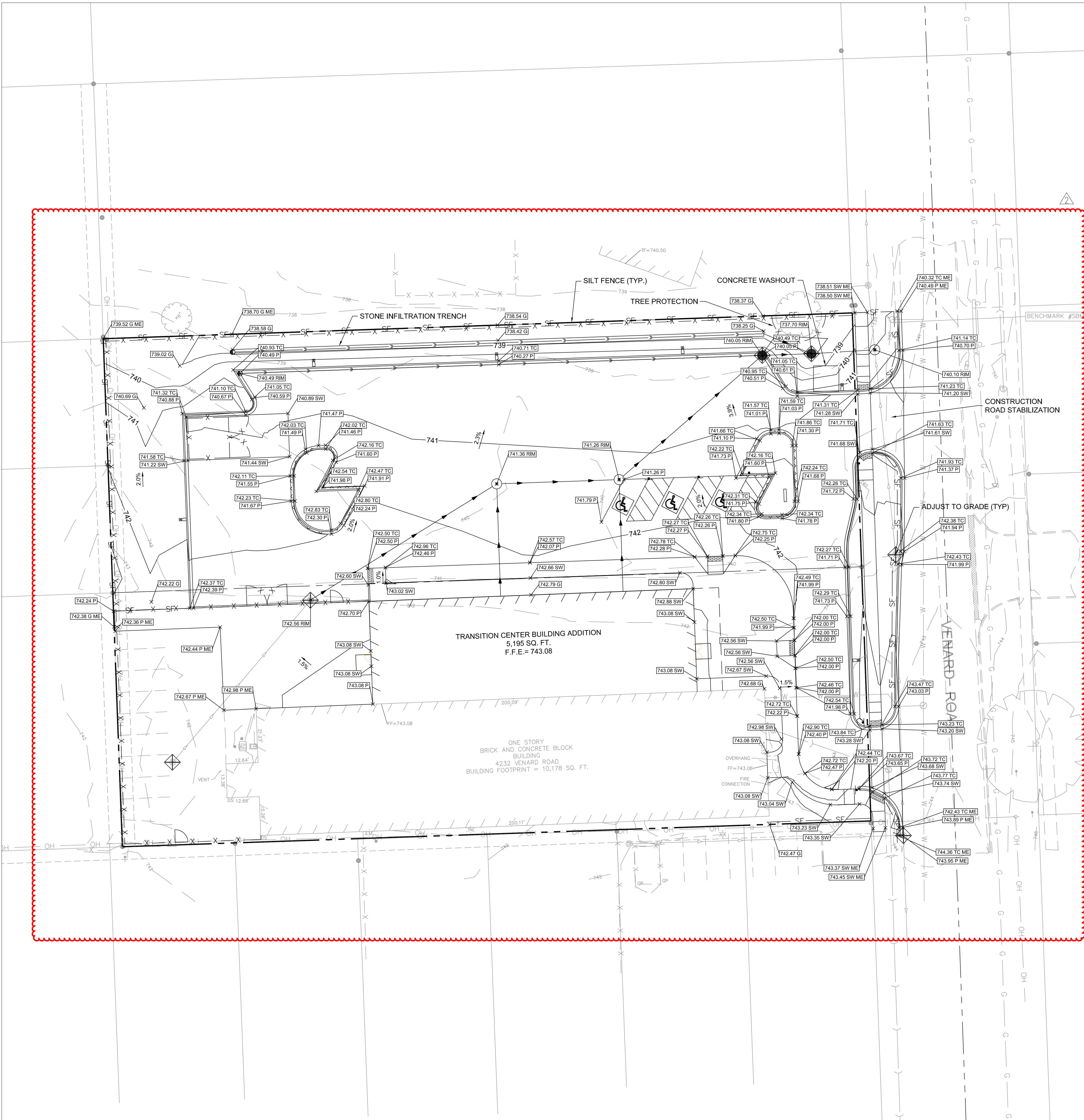
SITE PLAN

Project Number:
 220081
 Drawn By:
 DE
 Sheet:

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S:\Darien\Downers Grove SD99\INT_199 Addition\220081 C3.00 GRADING AND EROSION CONTROL PLAN.dwg devans Oct 31, 2022 3:13:15 pm
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LEGEND

- ME MATCH EXISTING ELEVATION
- HP HIGH POINT
- 11.77 P TOP OF PAVEMENT ELEVATION
- 11.77 G GROUND ELEVATION
- 11.77 SW TOP OF SIDEWALK ELEVATION
- 11.77 RM RIM ELEVATION
- 745 EXISTING CONTOUR LINE
- 745 PROPOSED CONTOUR LINE
- 2.0% SLOPE/FLOW DIRECTION
- CATCH BASIN
- MANHOLE

NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/DISCREPANCIES.
2. CONTRACTOR TO COORDINATE LOCATIONS, SIZE AND INVERTS WITH MEP PLANS.
3. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES EITHER SHOWN OR NOT SHOWN ON THE PLANS UNLESS OTHERWISE SPECIFIED. MINIMUM PROTECTION FOR TREES SHALL BE 4' SNOW FENCE INSTALLED ALONG THE DRIP LINE OF TREES.
4. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
5. ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
6. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND WITH THE AMERICANS WITH DISABILITIES ACT.
7. RAMP SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
8. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
9. SEE SWPPP PLAN FOR ALL EROSION AND SEDIMENT CONTROL NOTES, STANDARDS, INSPECTIONS, MAINTENANCE AND PRACTICES THAT NEED TO BE FOLLOWED.
10. DRAINAGE SWALS SHALL BE CONSTRUCTED OF ESTABLISHED VEGETATION (SOD OR NATIVE VEGETATION).

GEOTECH NOTE:

FOLLOW ALL RECOMMENDATIONS, REQUIREMENTS, REMEDIATION, ETC. AS SPECIFIED IN THE "SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING REPORT" PROVIDED BY ECS MIDWEST LLC. ANY DISCREPANCIES BETWEEN THE REPORTS, NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY.

EARTHWORK NOTES:

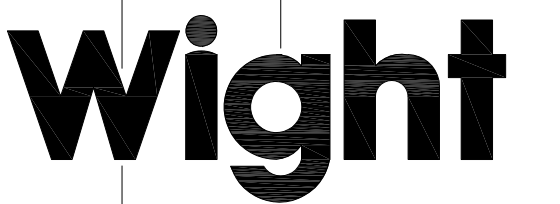
CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT EARTHWORK REQUIREMENTS (CUT, FILL, HAUL IN/OFF, ETC.) TO BRING SITE TO FINISHED GRADE. ANY ON-SITE RE-USE OF ON-SITE DEMOLITION DEBRIS/MATERIALS MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.

AS-BUILT NOTES:

THE CONTRACTOR IS RESPONSIBLE FOR ALL AS-BUILT SURVEYS. ALL AS-BUILT SURVEYS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR AND BE SIGNED AND SEALED. THE CONTRACTOR SHALL SUBMIT TWO SETS OF THE "AS-BUILT" FINAL ENGINEERING DRAWINGS (I.E. RECORD DRAWINGS) AND STORMWATER MANAGEMENT CALCULATIONS UPON COMPLETION OF IMPROVEMENTS AND INCLUDING ELECTRONIC CAD FILES. THE RECORD DRAWINGS SHOULD AT LEAST INCLUDE THE FOLLOWING INFORMATION: AS-BUILT DETENTION BASIN CONTOURS, ELEVATIONS (INCLUDING DETENTION BASIN TOP OF BERM AND OVERFLOW WEIR GRADES) AND VOLUME (VERIFIED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER (PE) OR PROFESSIONAL LAND SURVEYOR (PLS)); ELEVATION, AND LOCATION (TIES TO TWO POINTS) OF ALL NEW STRUCTURES INCLUDING FIRE HYDRANTS, VALVE BOXES AND VAULTS, LINES/STOP SLEEVES, WATER SERVICE CORPORATION STOPS, WATER MAIN FITTINGS/BENDS, MANHOLES, SANITARY SERVICE WYES (MEASURED FROM DOWNSTREAM MANHOLE), ALL STORM/SANITARY SEWER STRUCTURES (INCLUDING INVERTS AND PIPE SIZES), ALL PIPES (LOCATIONS, SLOPES, LENGTHS, ETC.), OUTLET CONTROL STRUCTURES (INCLUDING RESILIANT CURBS, SIZES AND LOCATIONS PLUS CURB WALL) AND ABANDONED WATER OR SANITARY SERVICE LINES. DETAILED TOPOGRAPHIC SURVEY OF ALL HIGH POINTS, LOW POINTS, CHANGE OF SLOPE INCLUDING GUTTER GRADES, TOP OF CURB GRADES, PAVEMENT GRADES, SIDEWALK GRADES, RAMP GRADES, ETC. TO VEGETATION. ALL AS-BUILT SURVEYS SHOULD BE REFERENCED TO THE SAME BENCHMARK DATUM AS THE ORIGINAL DESIGN PLANS. HORIZONTAL TIES SHALL BE REFERENCED TO LOT LINES, BACK OF CURB, OR PROPERTY CORNERS. WITHIN DETENTION/BMP AREAS: FOR VERIFICATION OF DETENTION VOLUME AND SUBBASE GRADES, PRIOR TO BACK FILLING WITH GRA-7, THE CONTRACTOR SHALL HIRE A CERTIFIED TOPO SURVEY OF AS-BUILT SUBBASE GRADES FOR ENGINEER APPROVAL AND ALSO A COPY OF RECEIPT OF THE CA-7 AGGREGATE.

VILLAGE OF DOWNERS GROVE NOTES

1. ONE FULL SIZE HARD COPY OF THE AS-BUILT FINAL GRADING SURVEY (PRINTED TO SCALE) MUST BE SUBMITTED PRIOR TO SCHEDULING THE FINAL STORMWATER/RIGHT-OF-WAY INSPECTION FOR THE PROJECT. AS APPLICABLE, IT SHALL INCLUDE, BUT IS NOT LIMITED TO THE ITEMS LISTED IN SECTION 28.700.C OF THE DOWNERS GROVE MUNICIPAL CODE. IT SHALL ALSO INCLUDE THE AS-BUILT STORAGE VOLUME OF ANY RESIDENTIAL STORMWATER STORAGE (RSS) OR POST CONSTRUCTION BEST MANAGEMENT PRACTICES (PCBMPs). BEFORE THE PERMIT CAN BE CLOSED, AN ELECTRONIC COPY OF THE APPROVING AS-BUILT GRADING SURVEY IS REQUIRED.
2. A FINAL GRADING SURVEY IS REQUIRED AT THE COMPLETION OF THE PROJECT, INCLUDING AN ELECTRONIC COPY (TIFF FORMAT). IT SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS:
 - SUMP PUMP DISCHARGE LOCATION, DISCHARGE PATH, AND THE LOCATION, SIZE, AND MATERIAL OF ANY ASSOCIATED PIPING (SUMP DISCHARGE SHALL BE AT LEAST 20 FEET FROM THE DOWNSTREAM PROPERTY LINE)
 - DOWNSPOUT LOCATION, DISCHARGE PATH, AND THE LOCATION, SIZE, AND MATERIAL OF ANY ASSOCIATED PIPING (DOWNSPOUT DISCHARGE SHALL BE AT LEAST 20 FEET FROM THE DOWNSTREAM PROPERTY LINE)
 - TOP OF FOUNDATION ELEVATIONS OF ALL NEW STRUCTURES
 - SPOT GRADES ADJACENT TO THE FOUNDATIONS OF ALL NEW STRUCTURES
 - ALL NEW IMPERVIOUS AREAS INCLUDING THOSE MADE OF CONCRETE, ASPHALT, AND BRICK
 - STOOPS OUTSIDE OF DOORWAYS
 - WINDOW WELL LOCATIONS, ELEVATIONS, AND THE ADJACENT GRADE
 - AS-BUILT SWALE CROSS SECTIONS AND SWALE CAPACITY CALCULATIONS.
 - UPDATED CALCULATIONS OF THE AS-BUILT IMPERVIOUS AREAS. TABULATE TO SHOW THE NET INCREASE IN IMPERVIOUS AREA (ANY INCREASE IN IMPERVIOUS AREA FROM THE PROPOSED WILL RESULT IN AN ADDITIONAL FEE).
3. EROSION CONTROL NOTES:
 - AN INITIAL SEDIMENTATION AND EROSION CONTROL INSPECTION IS REQUIRED PRIOR TO STARTING CONSTRUCTION. THE APPLICANT IS DIRECTED TO CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 630-434-5529 TO SCHEDULE THIS INSPECTION; THIS NOTIFICATION SHALL BE AT LEAST 24 HOURS IN ADVANCE OF CONSTRUCTION.
 - THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE.
 - STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN ANY DRAINAGEWAYS, FLOODPLAINS, WETLANDS, BUFFERS OR LPDAS.
 - SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY SOIL STOCKPILE IF IT IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS INCLUDING A DOUBLE ROW OF SILT FENCE OR COIR ROLL.
 - PROPERTIES DOWNSTREAM FROM THE SITE SHALL BE PROTECTED FROM EROSION IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION.
 - STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
 - THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN SEVEN DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
 - WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.
 - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
 - ALL TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE VILLAGE OF DOWNERS GROVE STORMWATER AND FLOOD PLAIN ORDINANCE SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.



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COMMUNITY HIGH SCHOOL DISTRICT 99 TRANSITION 99 CENTER ADDITION

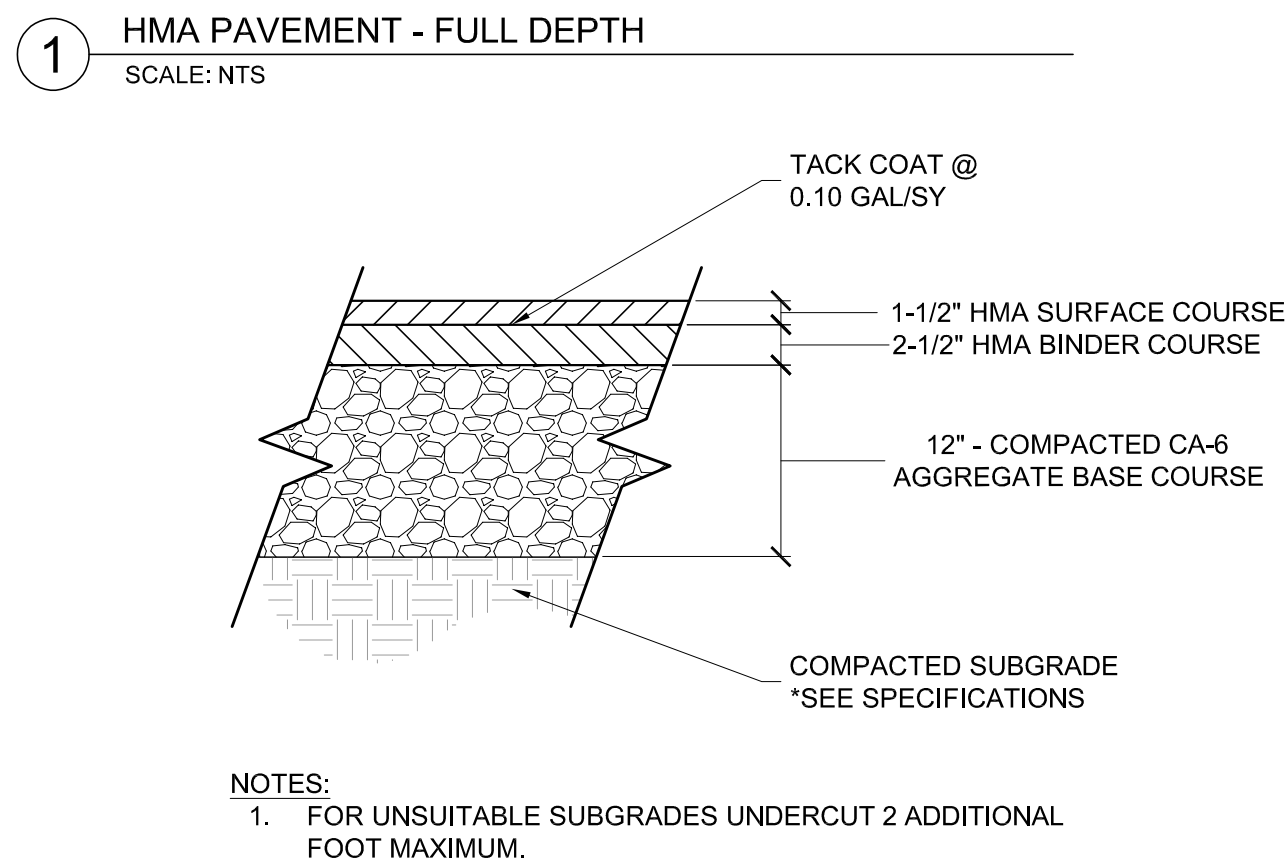
4232 VENARD ROAD
 DOWNERS GROVE, IL 60515

GRADING AND EROSION CONTROL PLAN

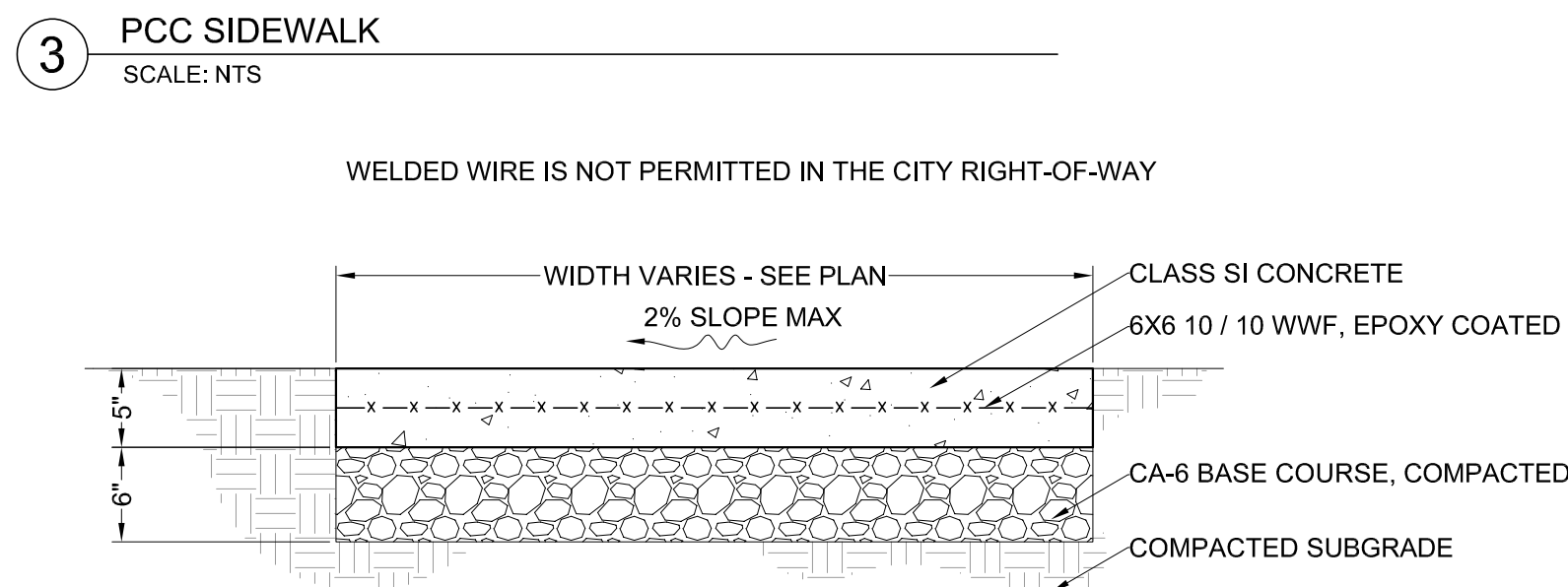
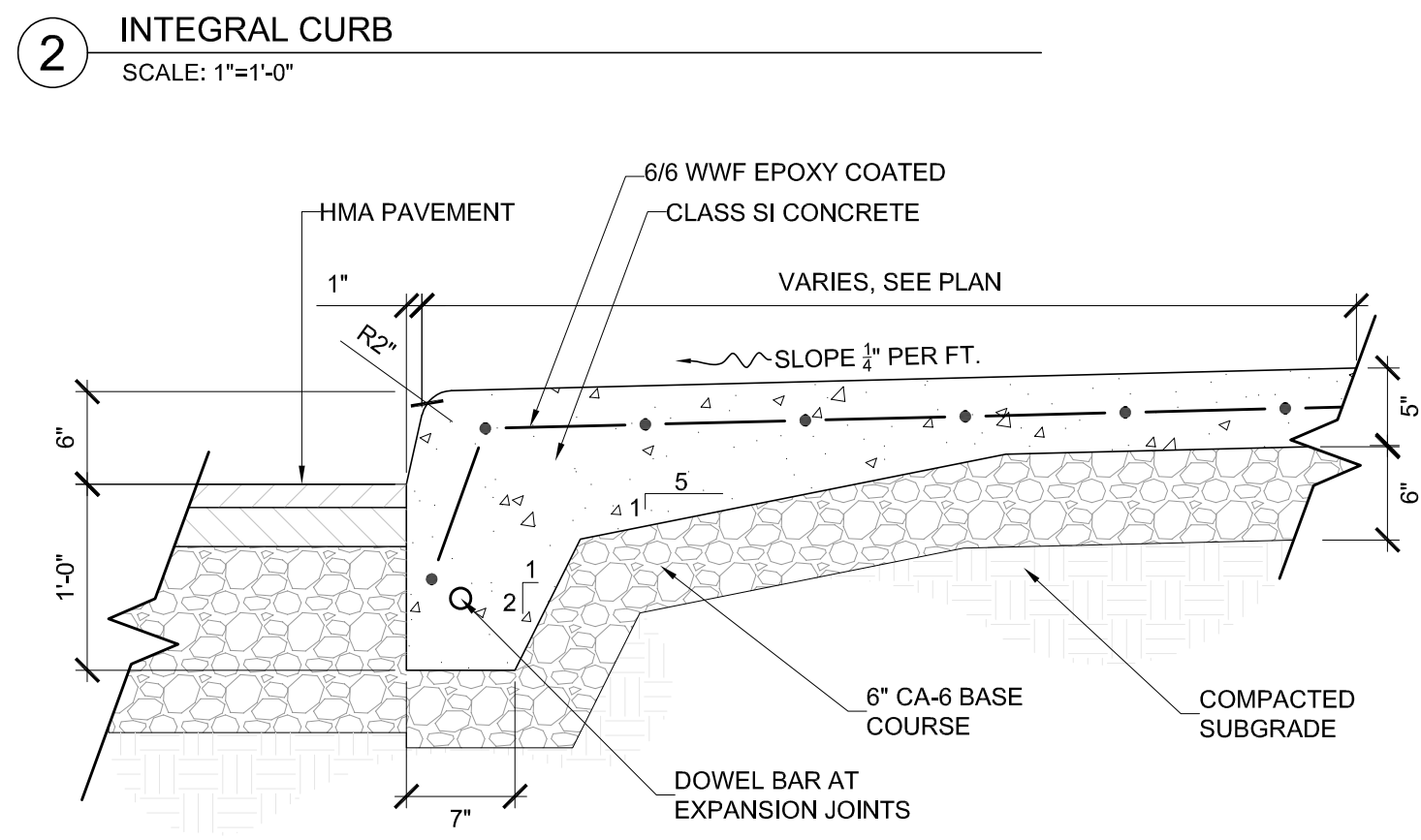
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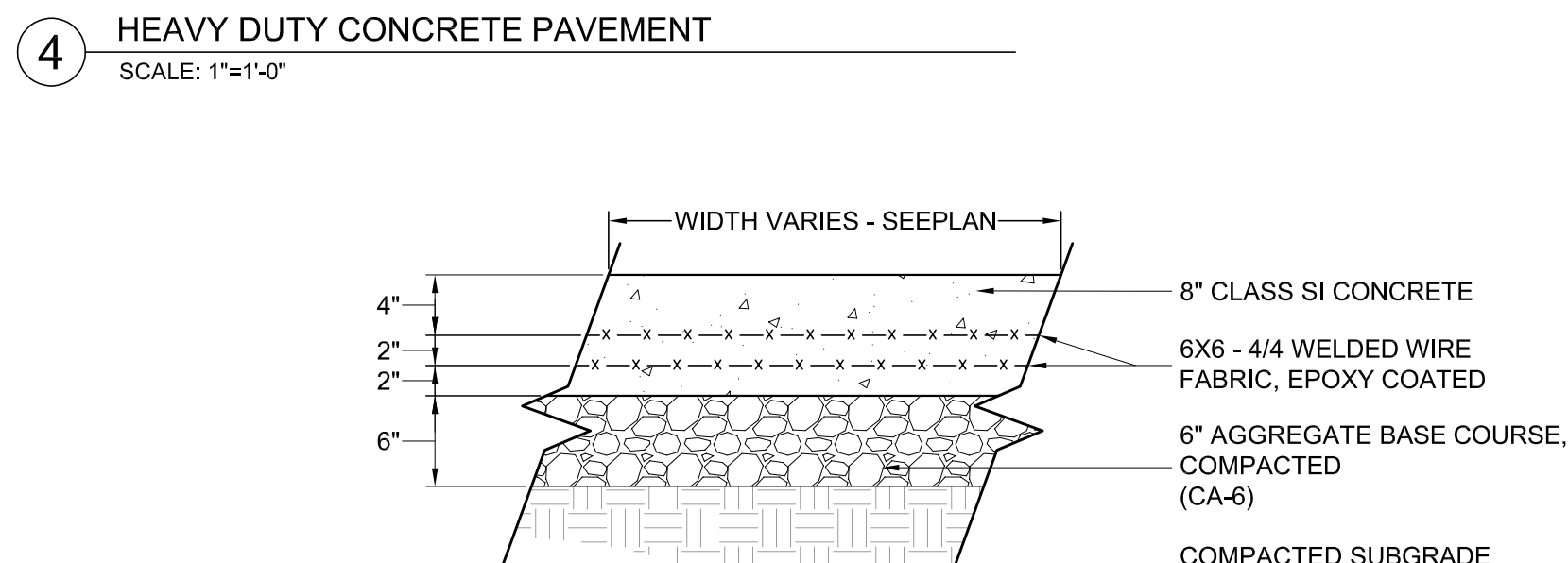
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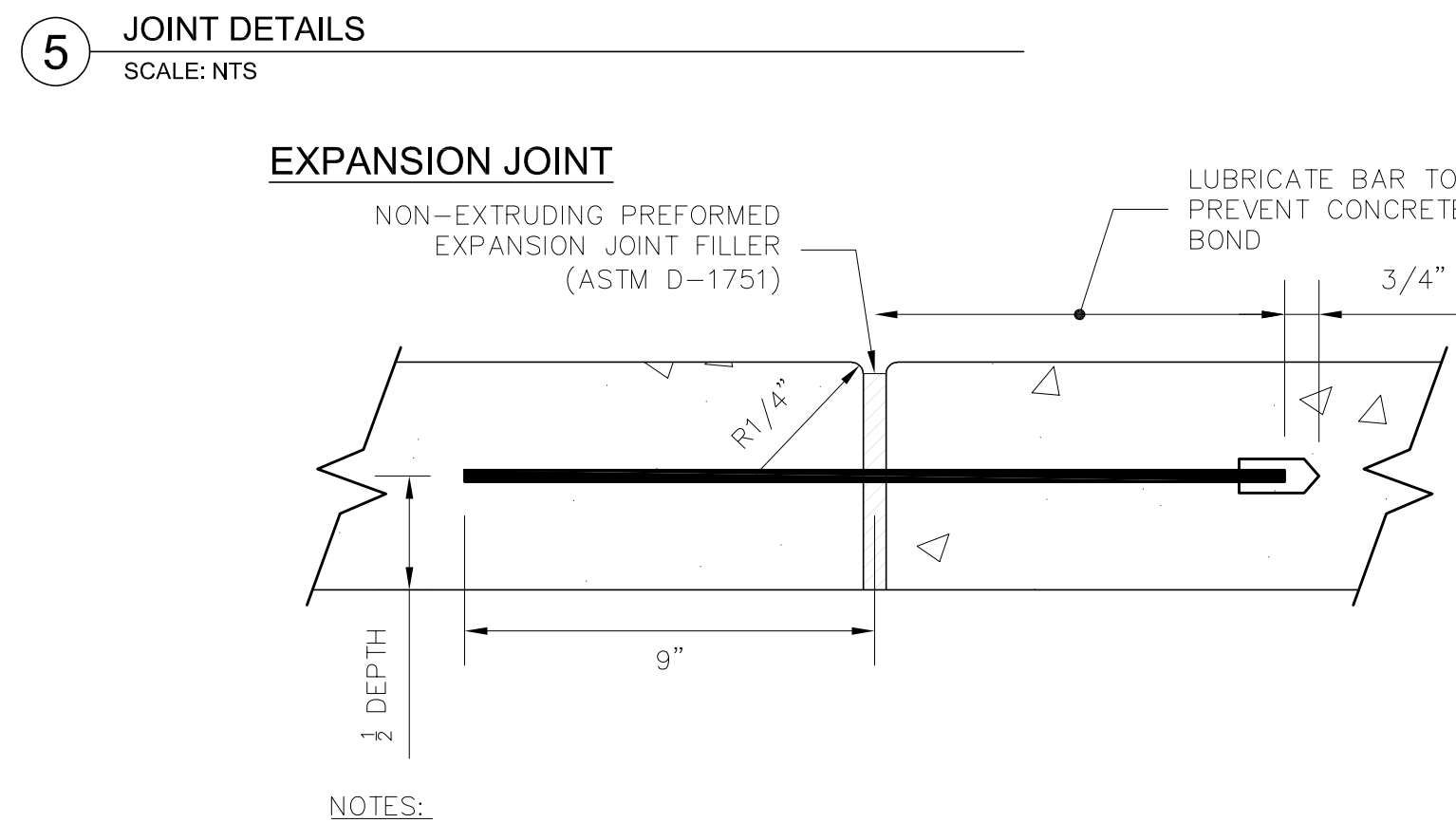
NOTES:
 1. FOR UNSUITABLE SUBGRADES UNDERCUT 2 ADDITIONAL FOOT MAXIMUM.



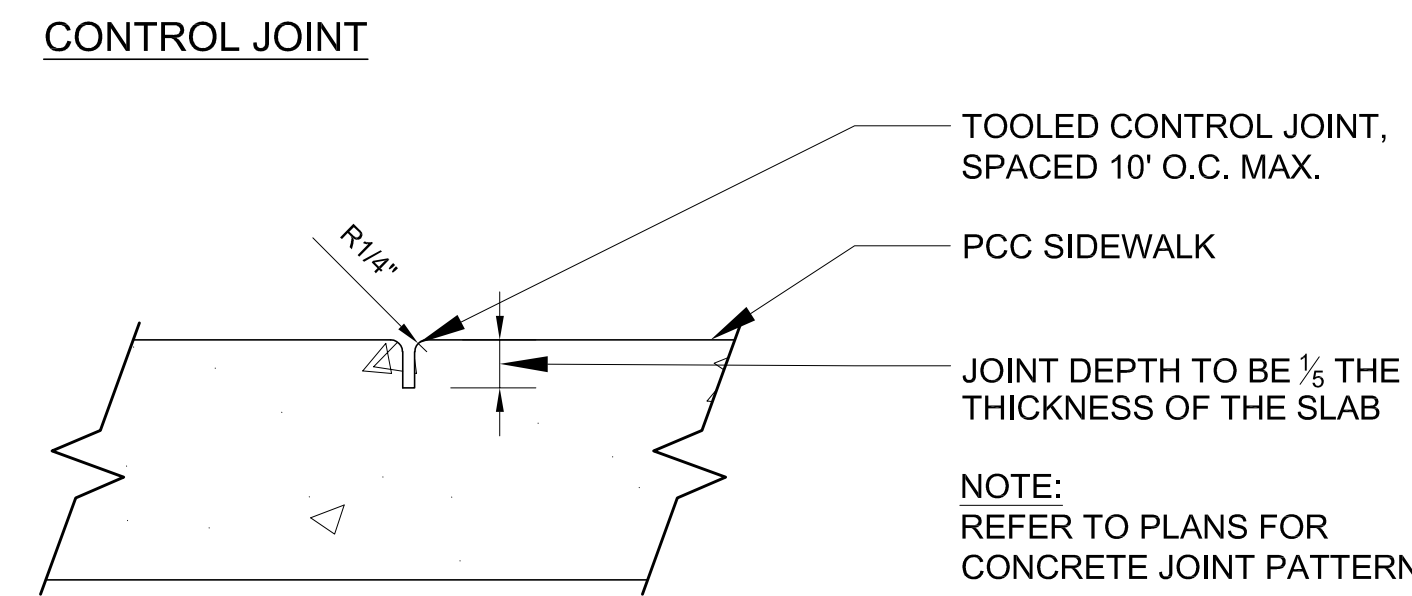
NOTES:
 1. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH IDOT CLASS SI CONCRETE, NOT LESS THAN 3500 P.S.I. CONCRETE AT 14 DAYS.
 2. SIDEWALK THICKNESS CROSS DRIVEWAY SHALL BE A MINIMUM 8\"/>



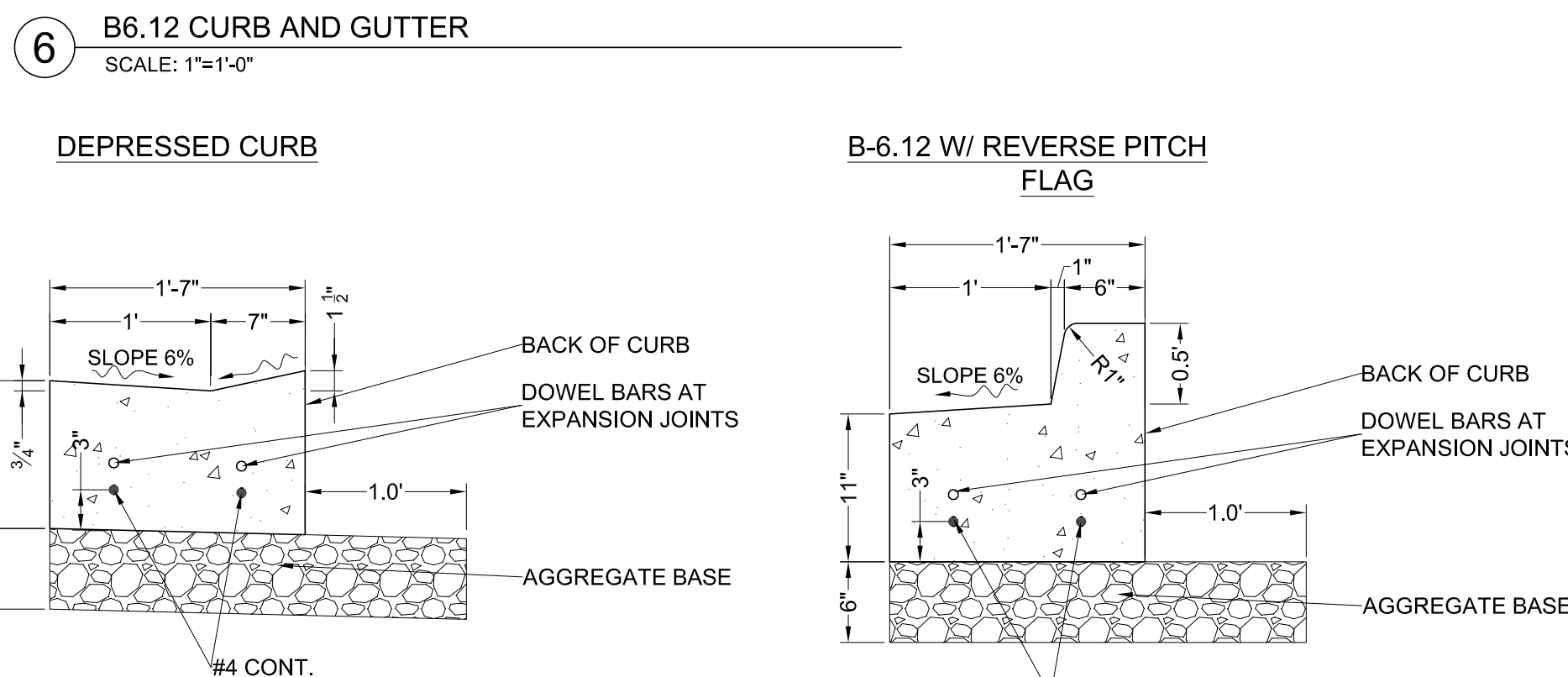
NOTES:
 1. PROVIDE CONTRACTION JOINT EVERY 10' O.C.
 2. PROVIDE EXPANSION JOINT AT LOCATIONS WHERE NEW CONCRETE POURS BEGIN/END.



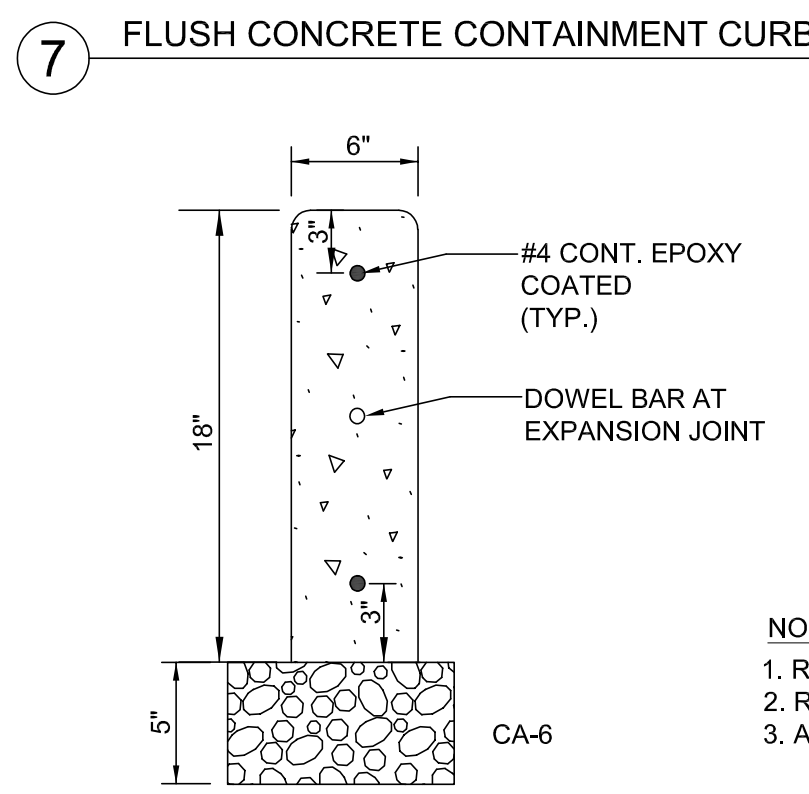
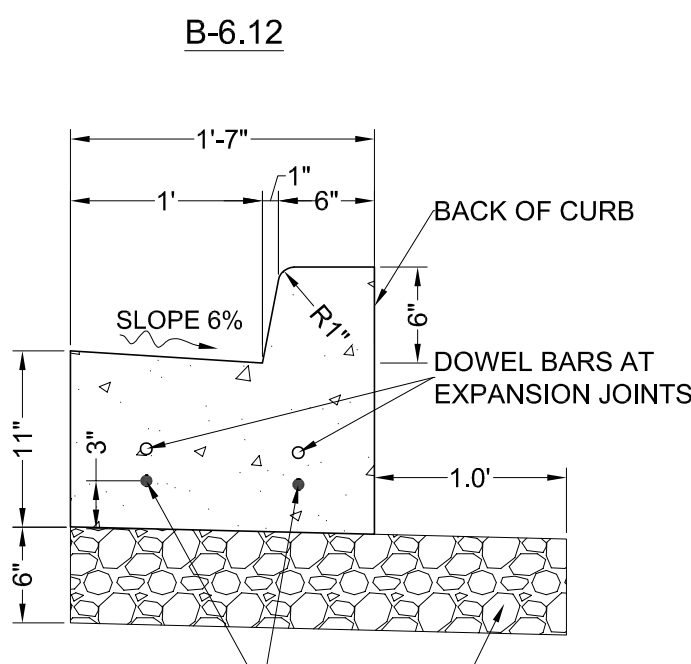
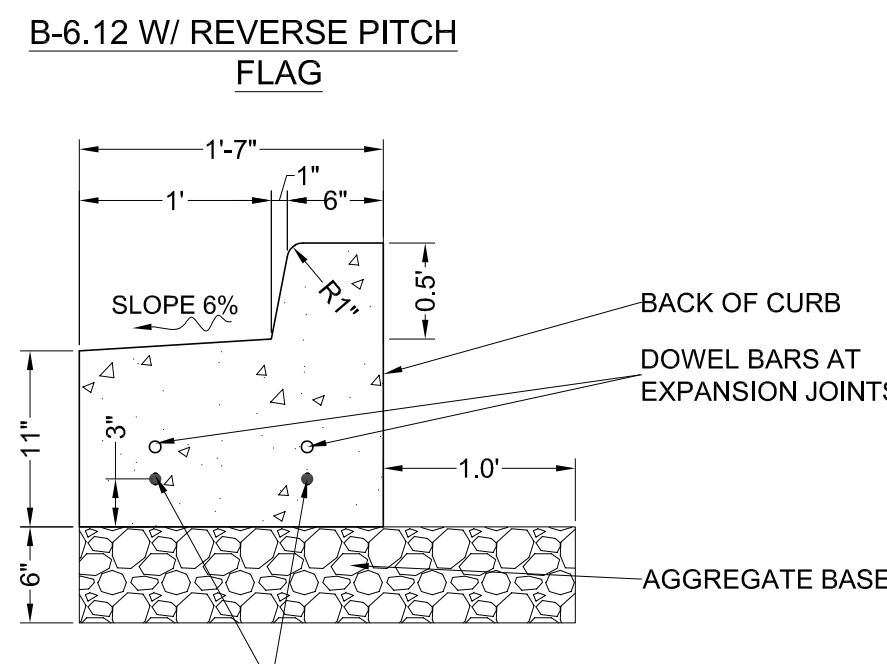
NOTES:
 1. PREFORMED FLEXIBLE FOAM EXPANSION JOINT FILLER NOT ACCEPTED.
 2. EACH EXPANSION JOINT SHALL HAVE (2) 3/8\"/>



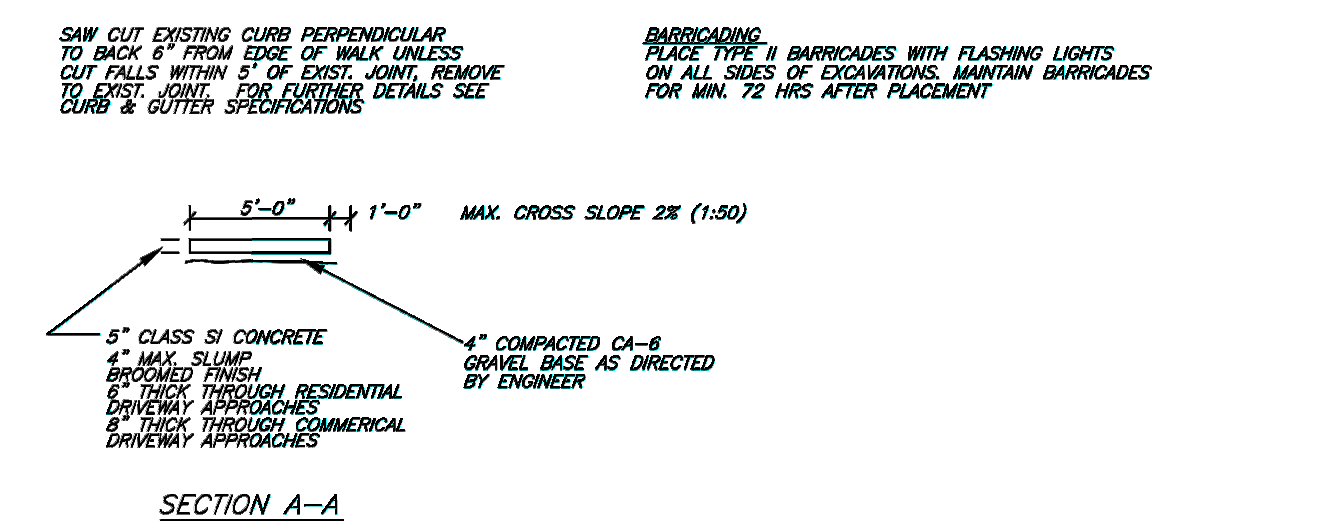
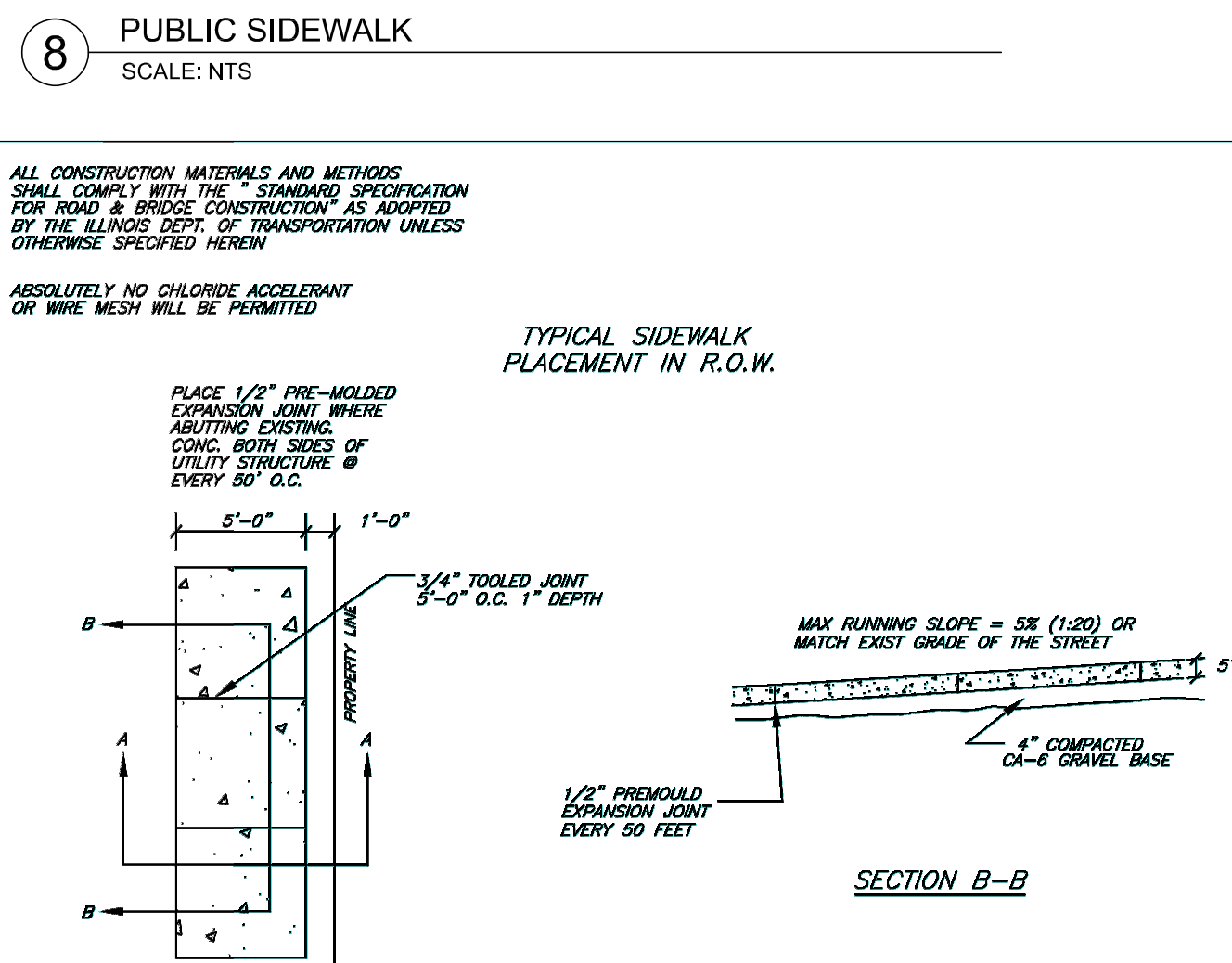
TOOLED CONTROL JOINT, SPACED 10' O.C. MAX.
 PCC SIDEWALK
 JOINT DEPTH TO BE 1/2 THE THICKNESS OF THE SLAB
 NOTE:
 REFER TO PLANS FOR CONCRETE JOINT PATTERN



NOTES:
 1. ALL CURB AND GUTTER SHALL BE CONSTRUCTED W/ IDOT CLASS SI CONCRETE.
 2. REFER TO EXPANSION JOINT DETAIL.
 3. CONSTRUCTION JOINTS SHALL BE AT 20 OR 25 FT. INTERVALS DEPENDING ON TYPE OF POUR, REFER TO EXPANSION JOINT DETAIL.
 4. JOINTS SHALL BE CONSTRUCTED IN COMPLIANCE WITH IDOT STANDARDS & DETAILS.
 5. ALL CURB AND GUTTER SHALL BE DOWELED INTO EXISTING CURB AND GUTTER THAT HAS BEEN SAWCUT AND REMOVED.
 6. ALL DOWELS AND REBAR TO BE EPOXY COATED.

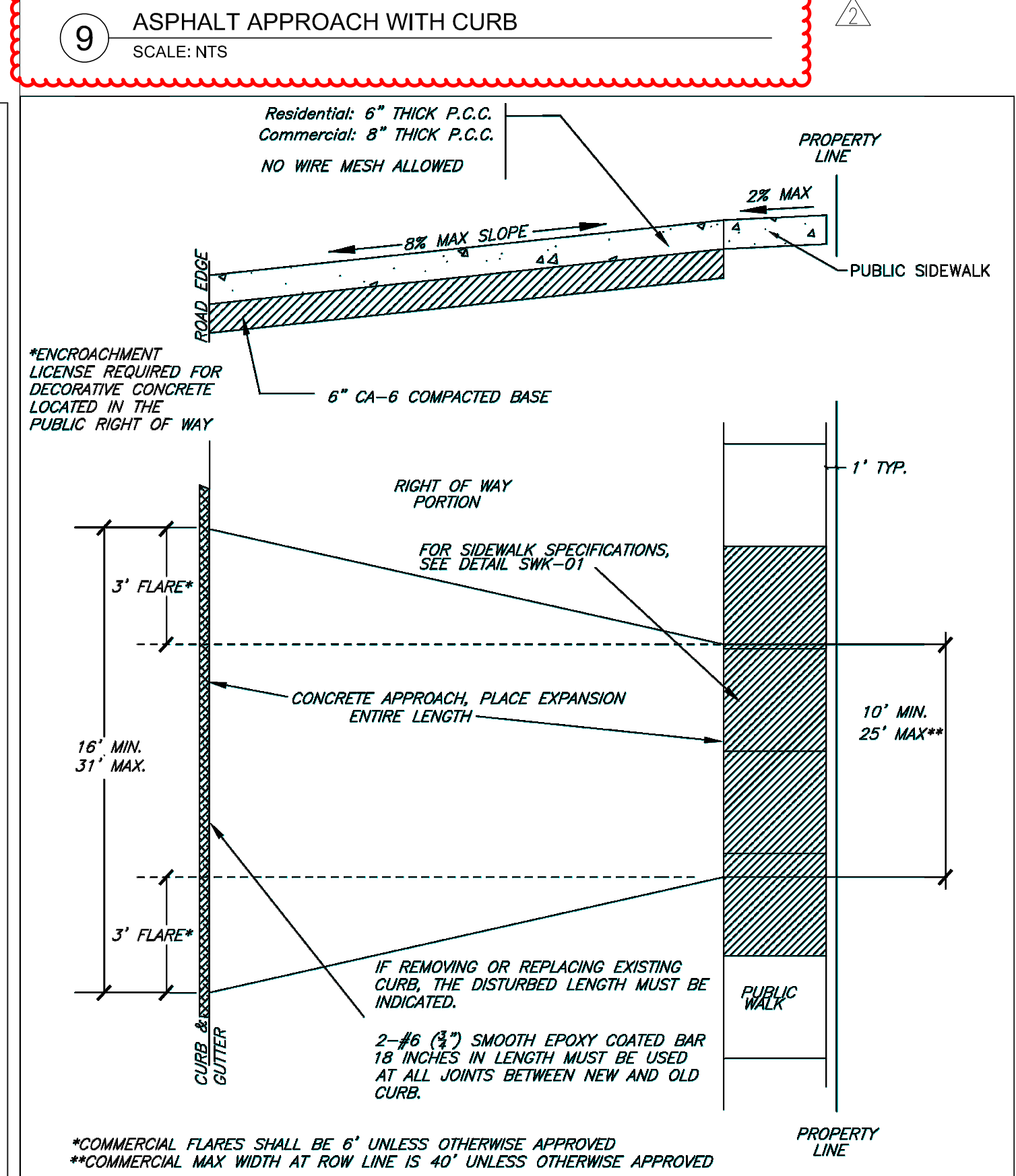


NOTES:
 1. REFER TO CURB AND GUTTER DETAIL FOR NOTES
 2. REFER TO EXPANSION JOINT DETAIL FOR NOTES
 3. ALL DOWELS AND REBAR TO BE EPOXY COATED.



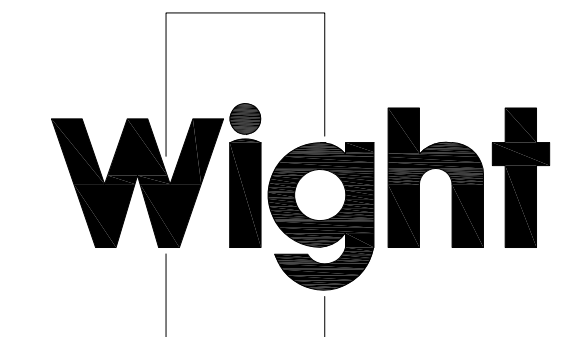
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	10/10/11		S.A.V.	A.J.S.	
	05/01/12		T.J.T.	A.J.S.	
	03/01/15		A.J.S.	A.J.S.	
	01/01/17		N.R.H.	J.M.W.	
	01/01/18		N.R.H.	J.M.W.	

DRAWING NO. SWK-01



N.T.S.	DATE	REVISIONS	DRAWN BY	APPVD BY	STANDARD DETAIL
	03/02/20		N.R.H.	J.M.W.	

DRAWING NO. PVT-09
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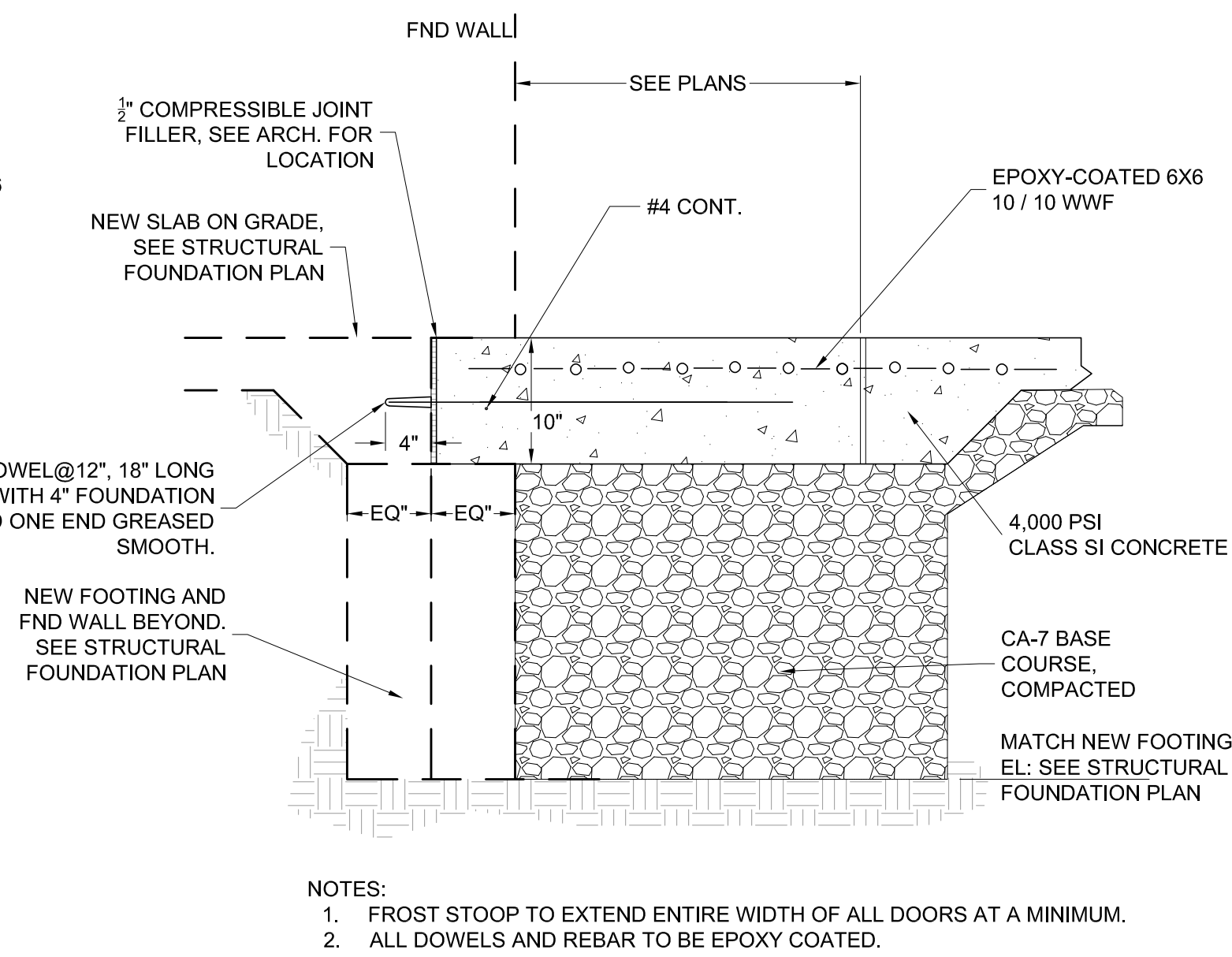
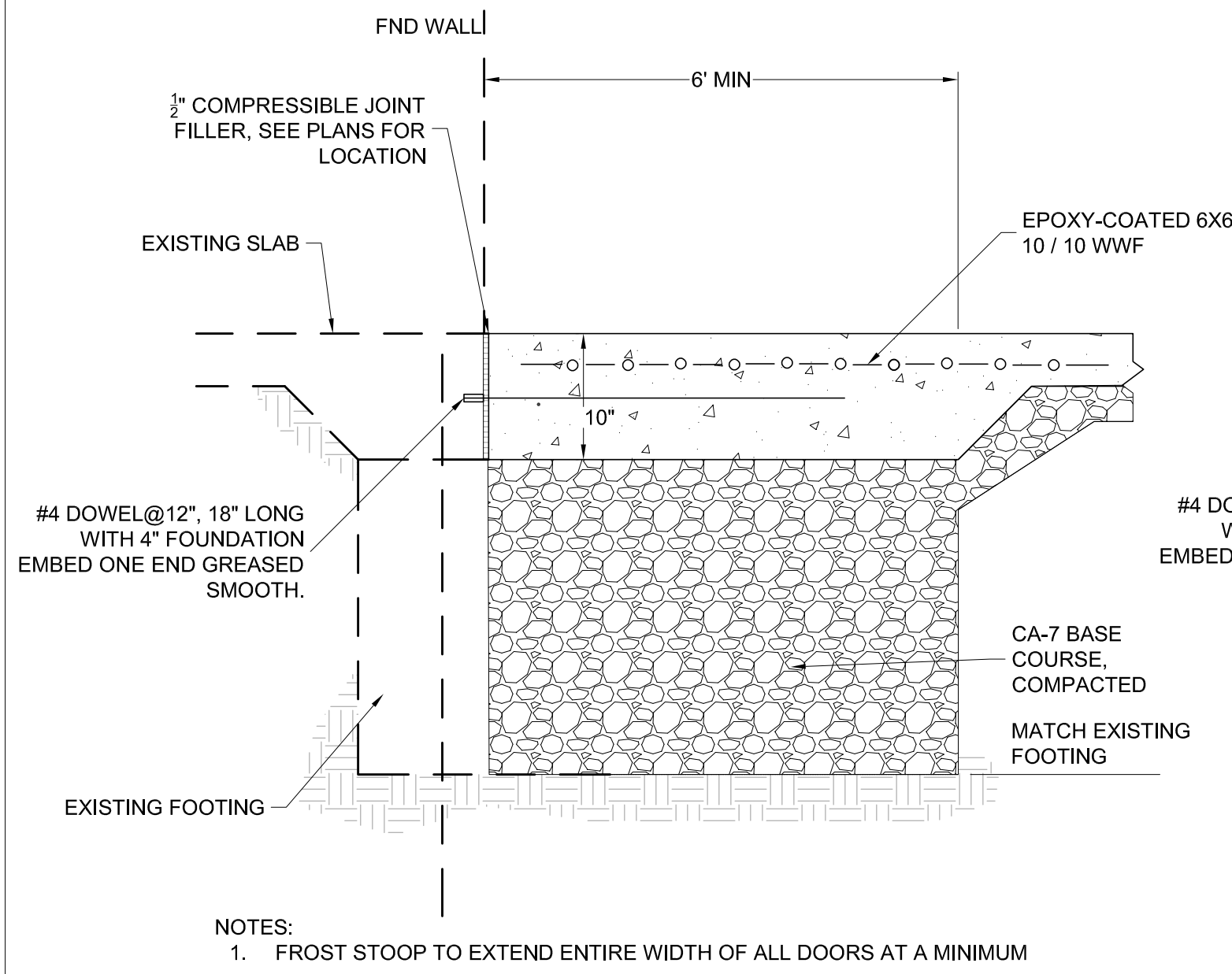
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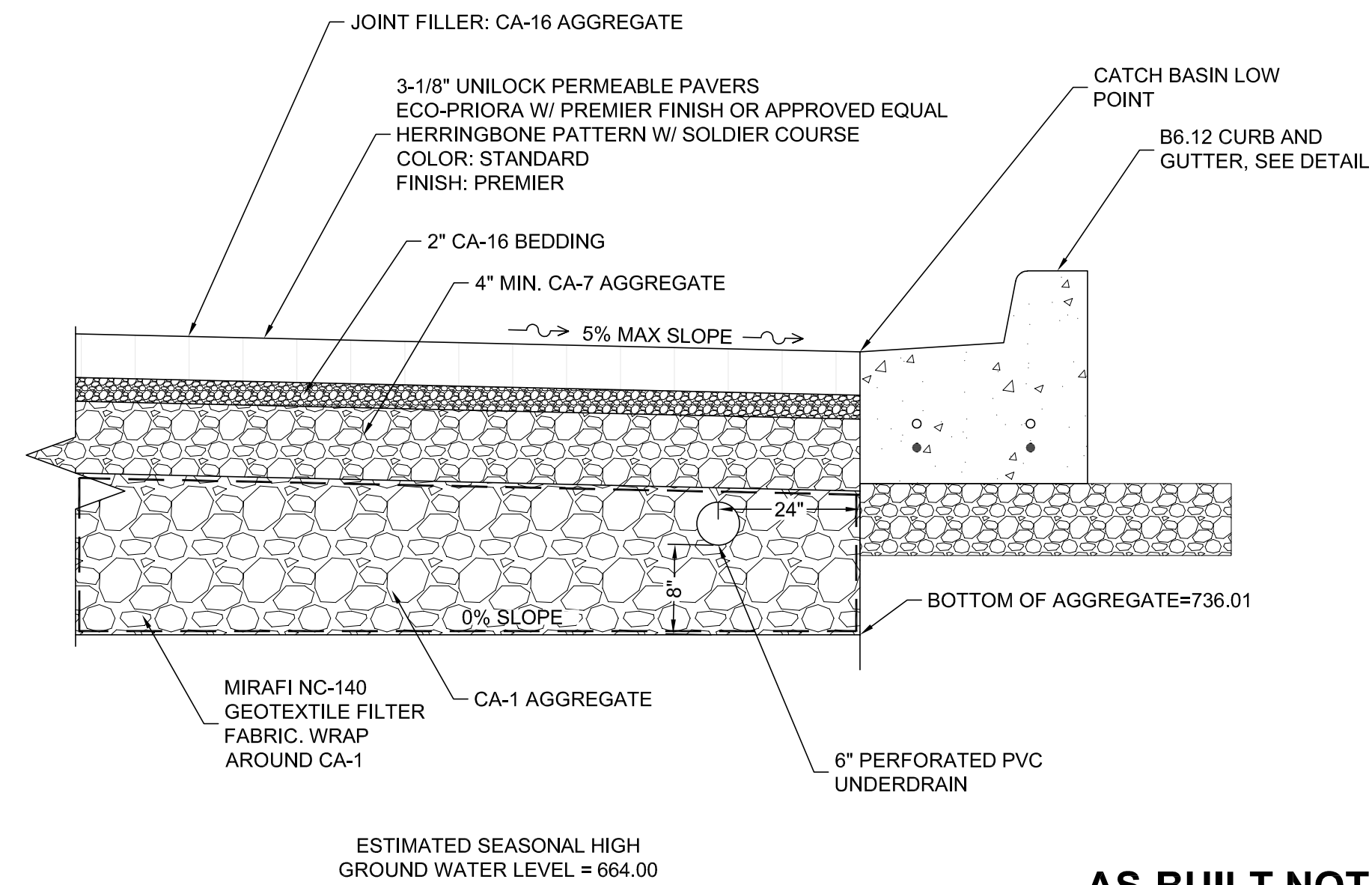
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1 FROST STOOP
 SCALE: 1"=1'-0"



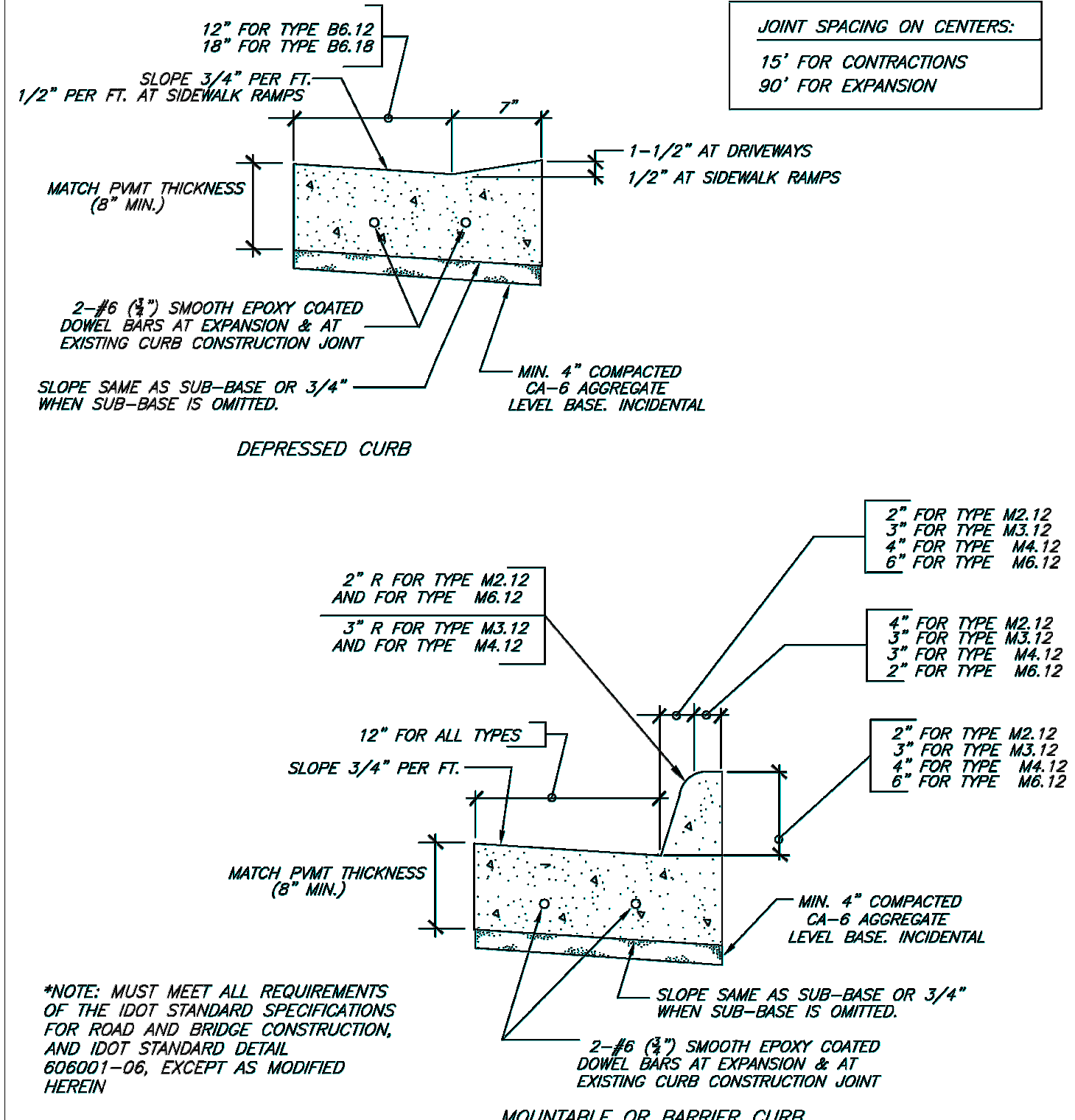
2 BMP #1 - PERMEABLE PAVERS



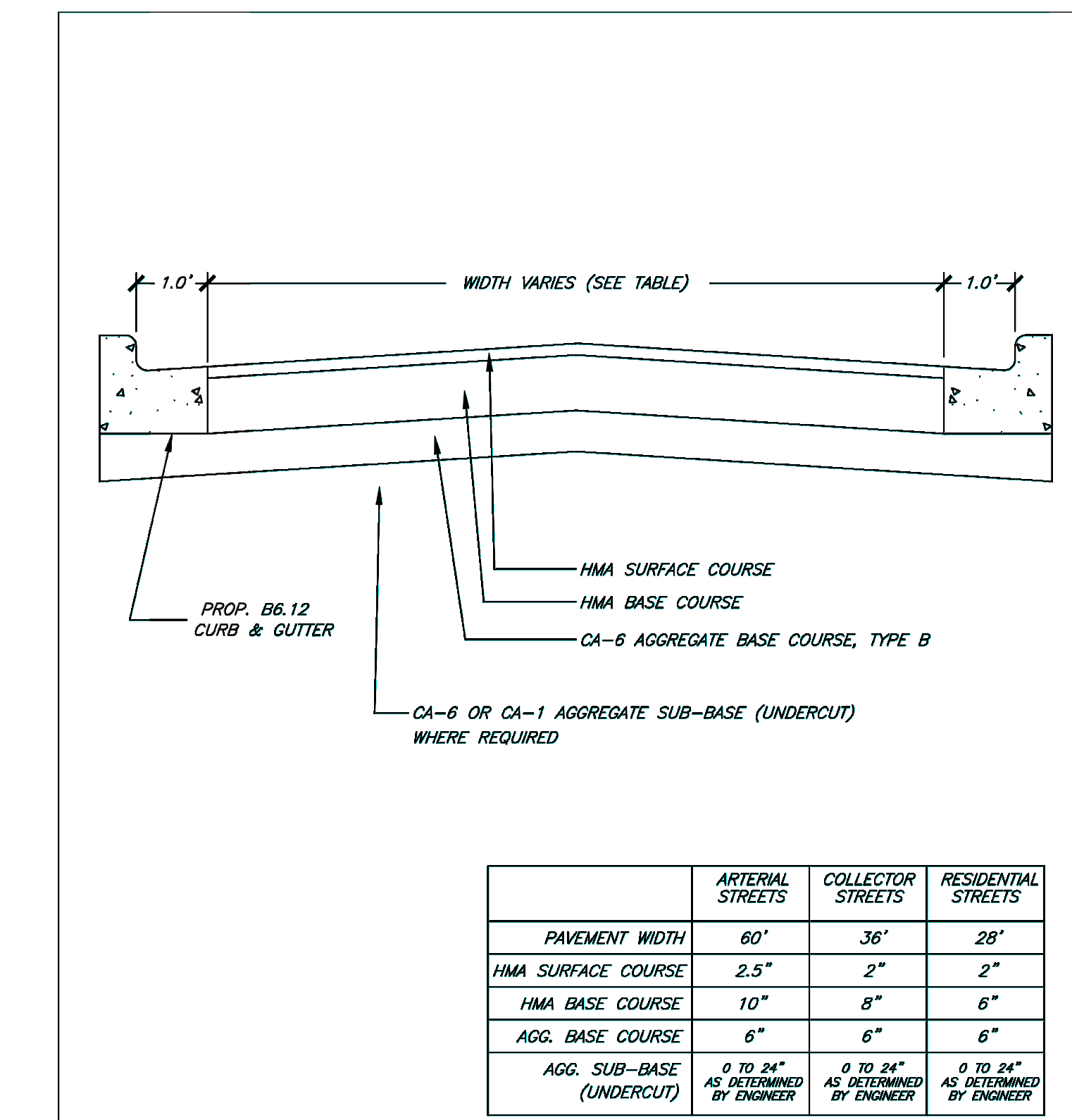
PERMEABLE PAVERS SHALL NOT BE INSTALLED ON AREAS WHERE THE SLOPE EXCEEDS 5%. A SUB-BASE INSPECTION IS REQUIRED.

AS-BUILT NOTE FOR PERMEABLE PAVERS:
 WITHIN BMP AREAS: FOR VERIFICATION OF BMP VOLUME AND SUBBASE GRADES, PRIOR TO BACK FILLING WITH CA-1. THE CONTRACTOR SHALL PROVIDE ENGINEER WITH A CERTIFIED TOPO SURVEY OF AS-BUILT SUBBASE GRADES FOR ENGINEER APPROVAL AND ALSO A COPY OF RECEIPT OF THE CA-1 AGGREGATE.

3 CURB AND GUTTER - RIGHT OF WAY

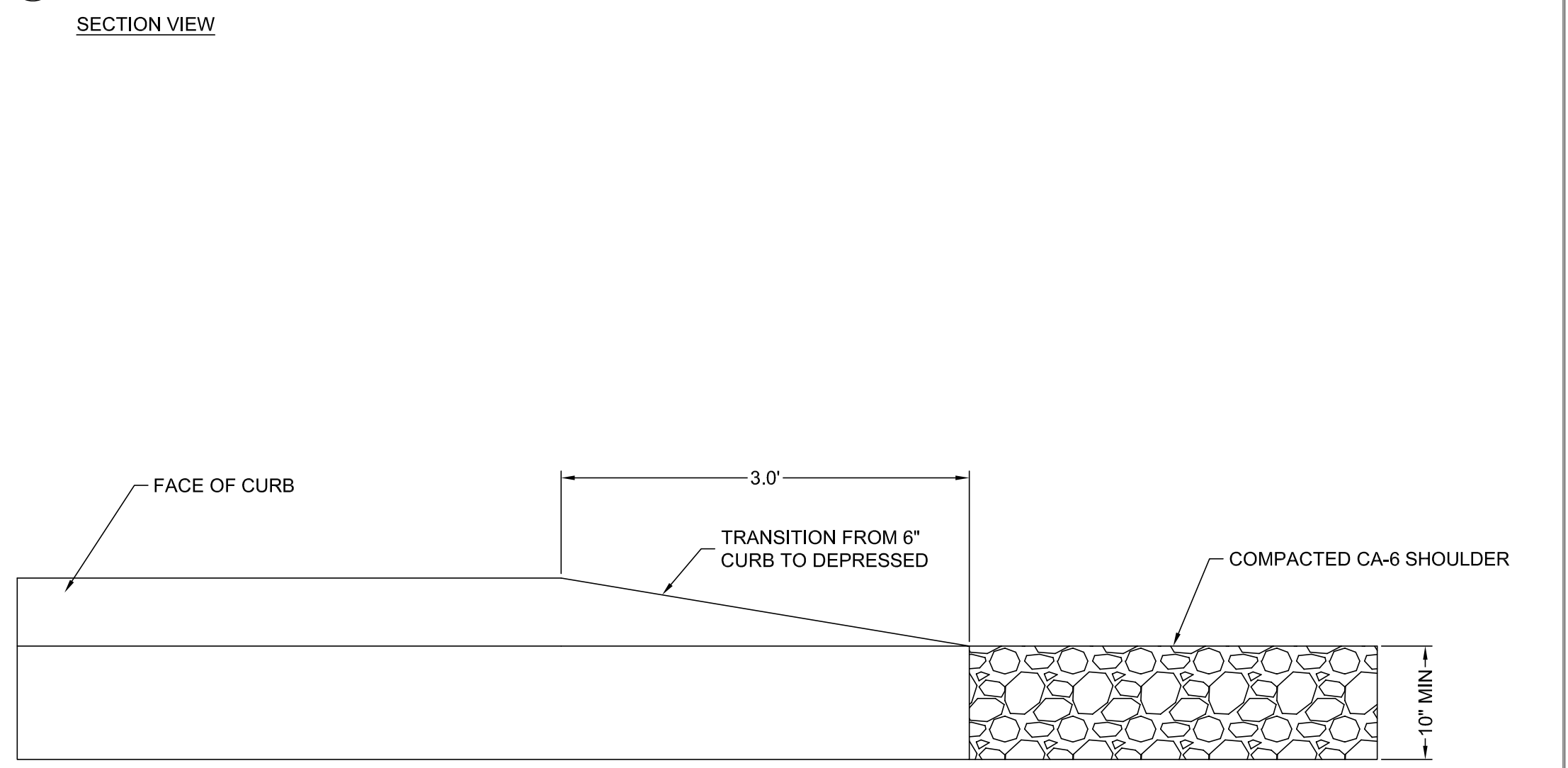


4 BITUMINOUS IMPROVED ROADWAY



	ARTERIAL STREETS	COLLECTOR STREETS	RESIDENTIAL STREETS
PAVEMENT WIDTH	60'	36'	28'
HMA SURFACE COURSE	2.5"	2"	2"
HMA BASE COURSE	10"	8"	6"
AGG. BASE COURSE	6"	6"	6"
AGG. SUB-BASE (UNDERCUT)	0 TO 24" AS DETERMINED BY ENGINEER	0 TO 24" AS DETERMINED BY ENGINEER	0 TO 24" AS DETERMINED BY ENGINEER

5 TRANSITION FROM CURB TO STONE SHOULDER



N.T.S.	DATE	REVISIONS	DRAWN BY	APPVD BY	STANDARD DETAIL
	02/20/07		J.M.L.	M.D.M.	CURB AND GUTTER
	03/25/11		S.A.V.	A.J.S.	
	03/01/15		A.J.S.	A.J.S.	
	01/01/17		N.R.H.	J.M.W.	
	01/01/18		N.R.H.	J.M.W.	

N.T.S.	DATE	REVISIONS	DRAWN BY	APPVD BY	STANDARD DETAIL
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	03/25/11		S.A.V.	A.J.S.	
	03/01/15		A.J.S.	A.J.S.	
	01/01/17		N.R.H.	J.M.W.	
	01/01/18		N.R.H.	J.M.W.	



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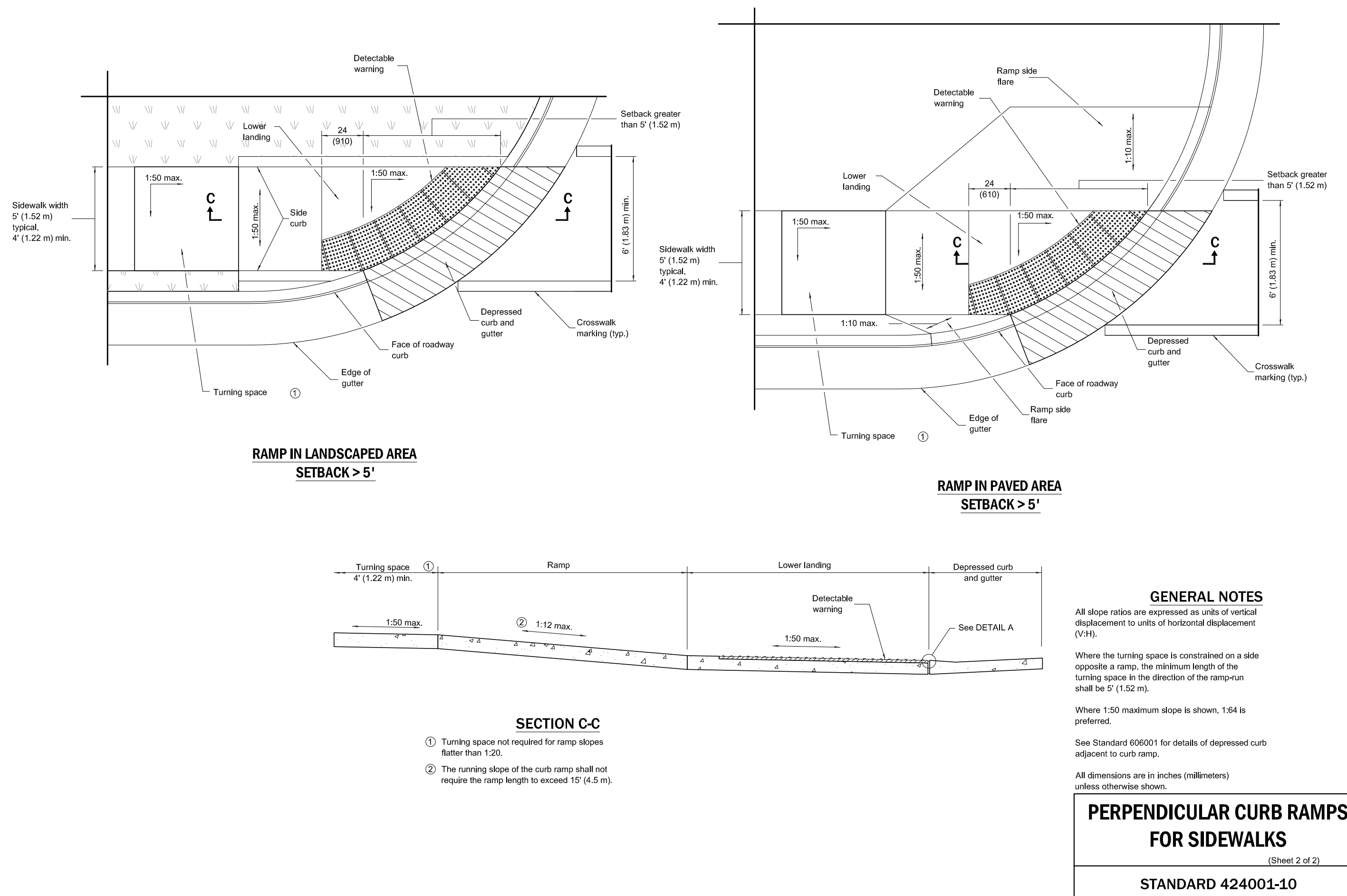
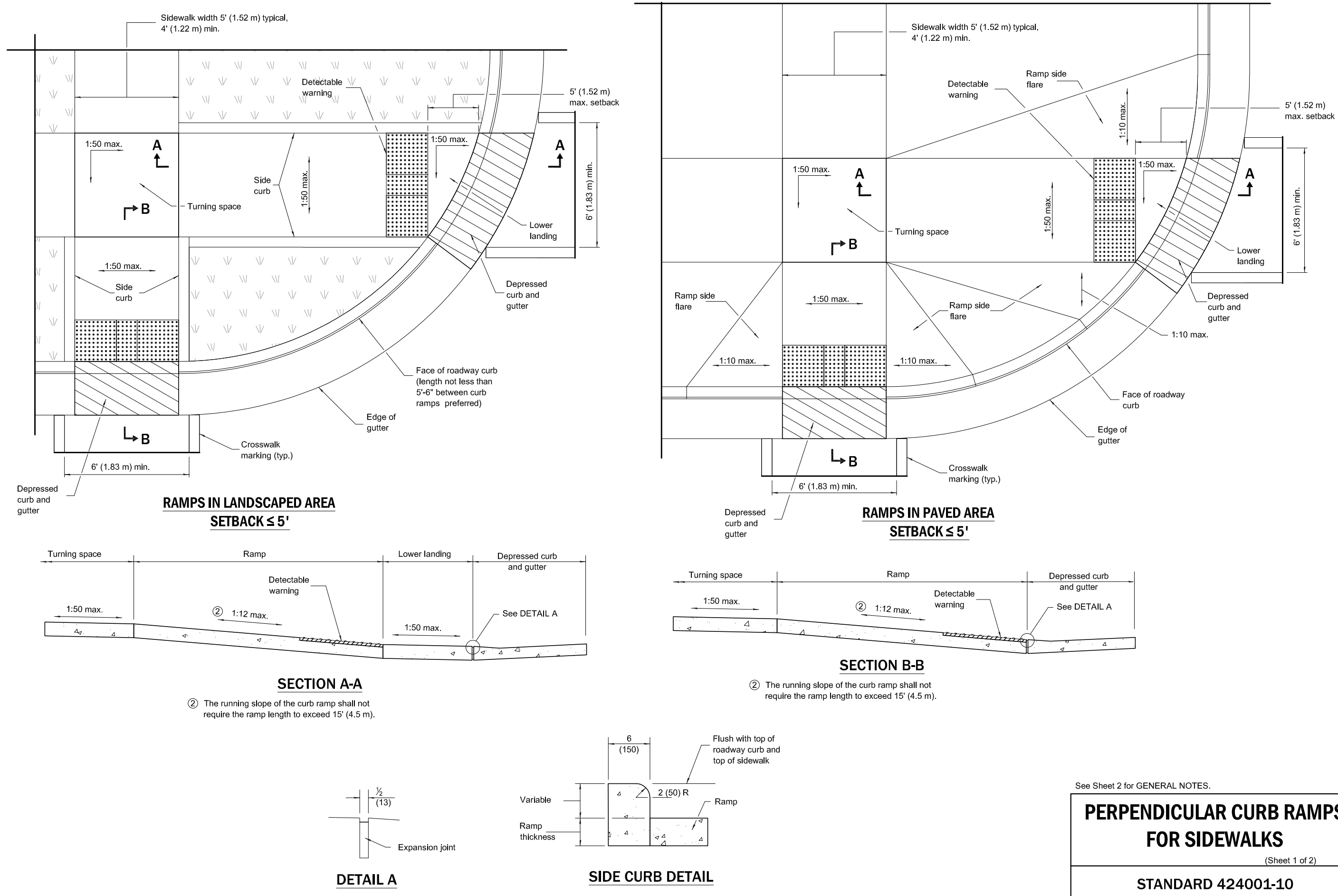
REV	DESCRIPTION	DATE
ADDENDUM 3		10-31-22
PLAN COMMISSION COMMENTS		09-30-22
ISSUE FOR BID		09-28-22
ISSUE FOR OWNER REVIEW		09-14-22
ISSUE FOR PLAN COMMISSION		08-16-22
ISSUE FOR DESIGN DEVELOPMENT		08-10-22

COMMUNITY HIGH SCHOOL DISTRICT 99
TRANSITION 99
CENTER ADDITION
 4232 VENARD ROAD
 DOWNERS GROVE, IL 60515

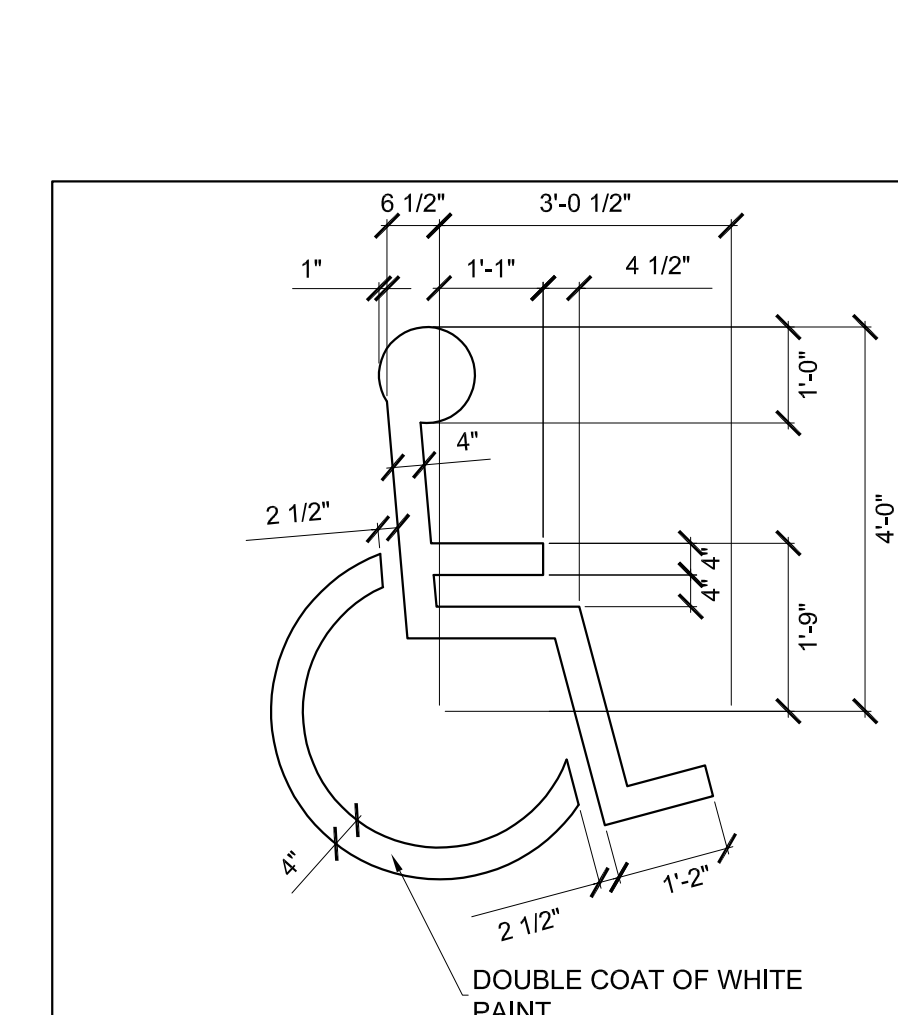
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 Project Number: 220081
 Drawn By: EN
 Sheet: **C5.01**

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1 IDOT PERPENDICULAR CURB RAMPS FOR SIDEWALKS
 SCALE: NTS

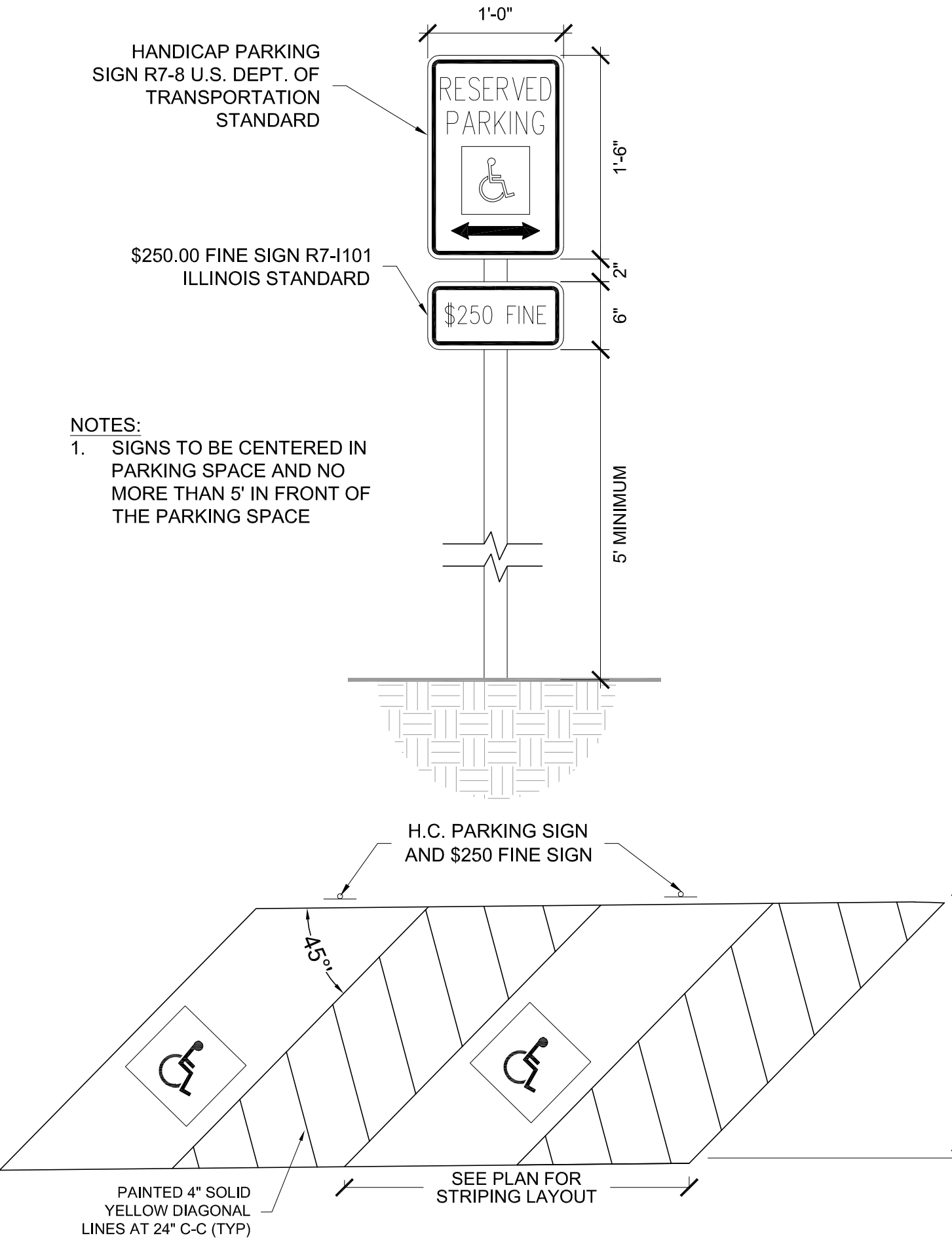


2 ADA PARKING SYMBOL
 SCALE: 1"=1'-0"

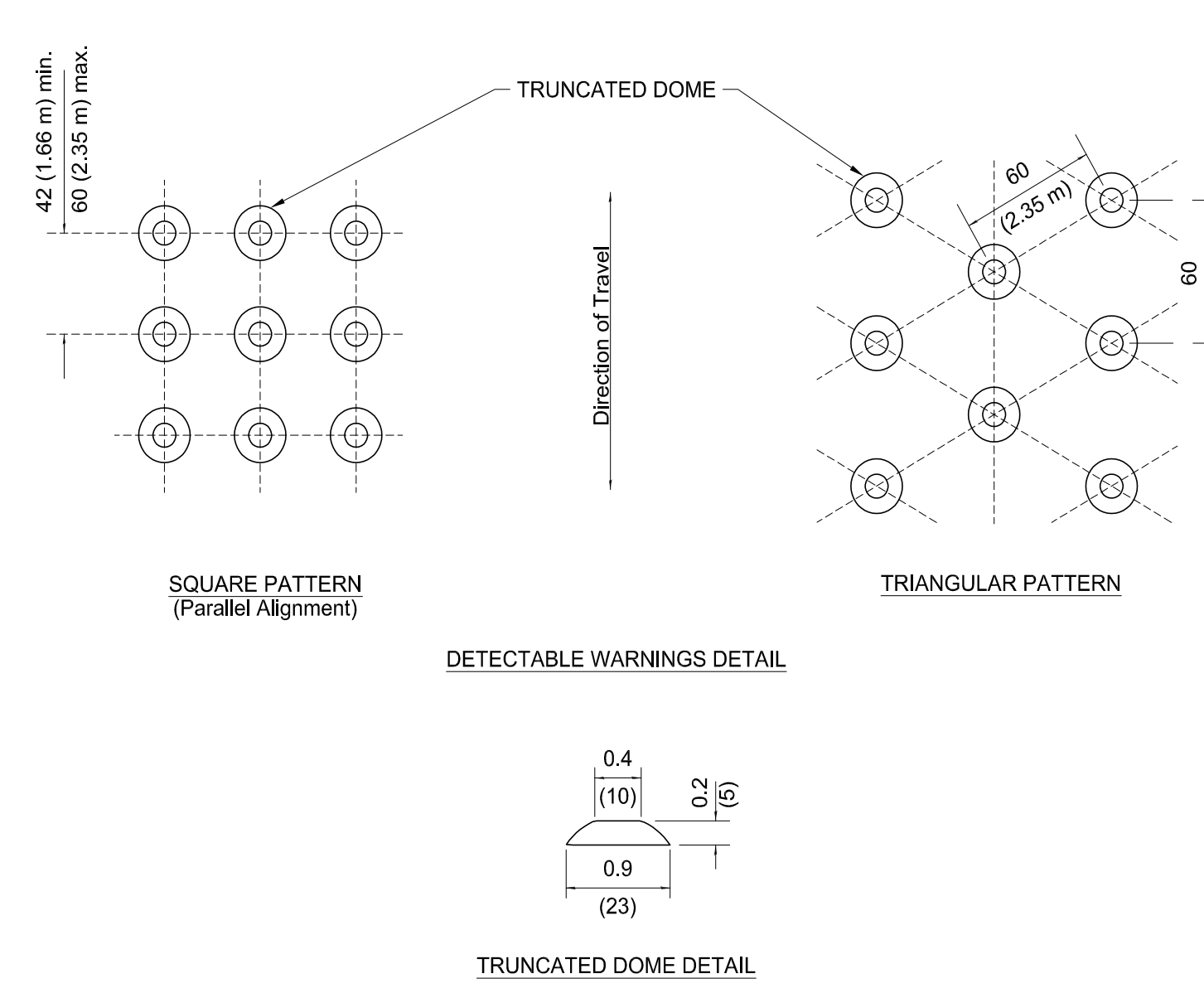


NOTES:
 1. CENTER SYMBOL ON STALL
 2. SYMBOLS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT

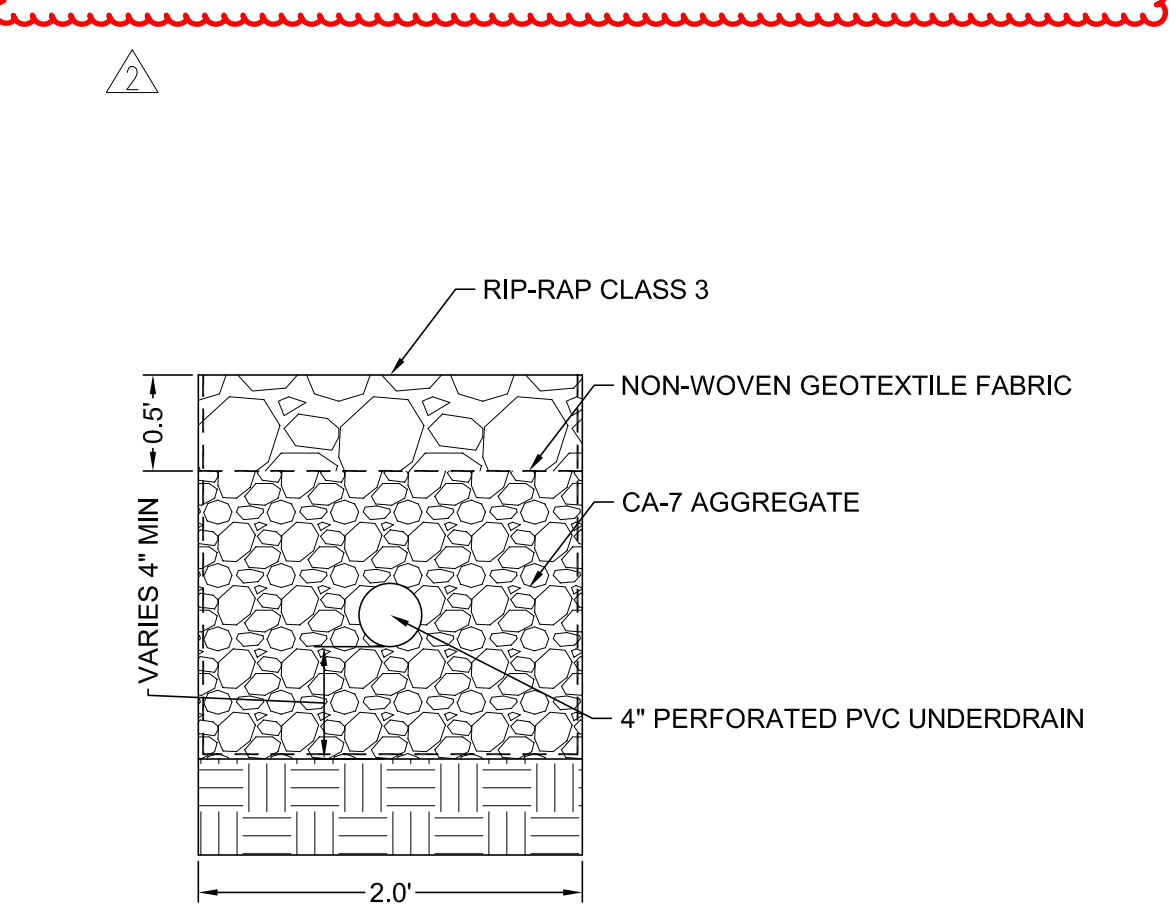
3 TYPICAL ADA PARKING SPACE AND SIGNAGE
 SCALE: 1"=1'-0"



4 DETECTABLE WARNING
 SCALE: NTS



5 STONE INFILTRATION TRENCH
 SCALE: NTS



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COMMUNITY HIGH SCHOOL DISTRICT 99 TRANSITION 99 CENTER ADDITION
 4232 VENARD ROAD
 DOWNERS GROVE, IL 60515

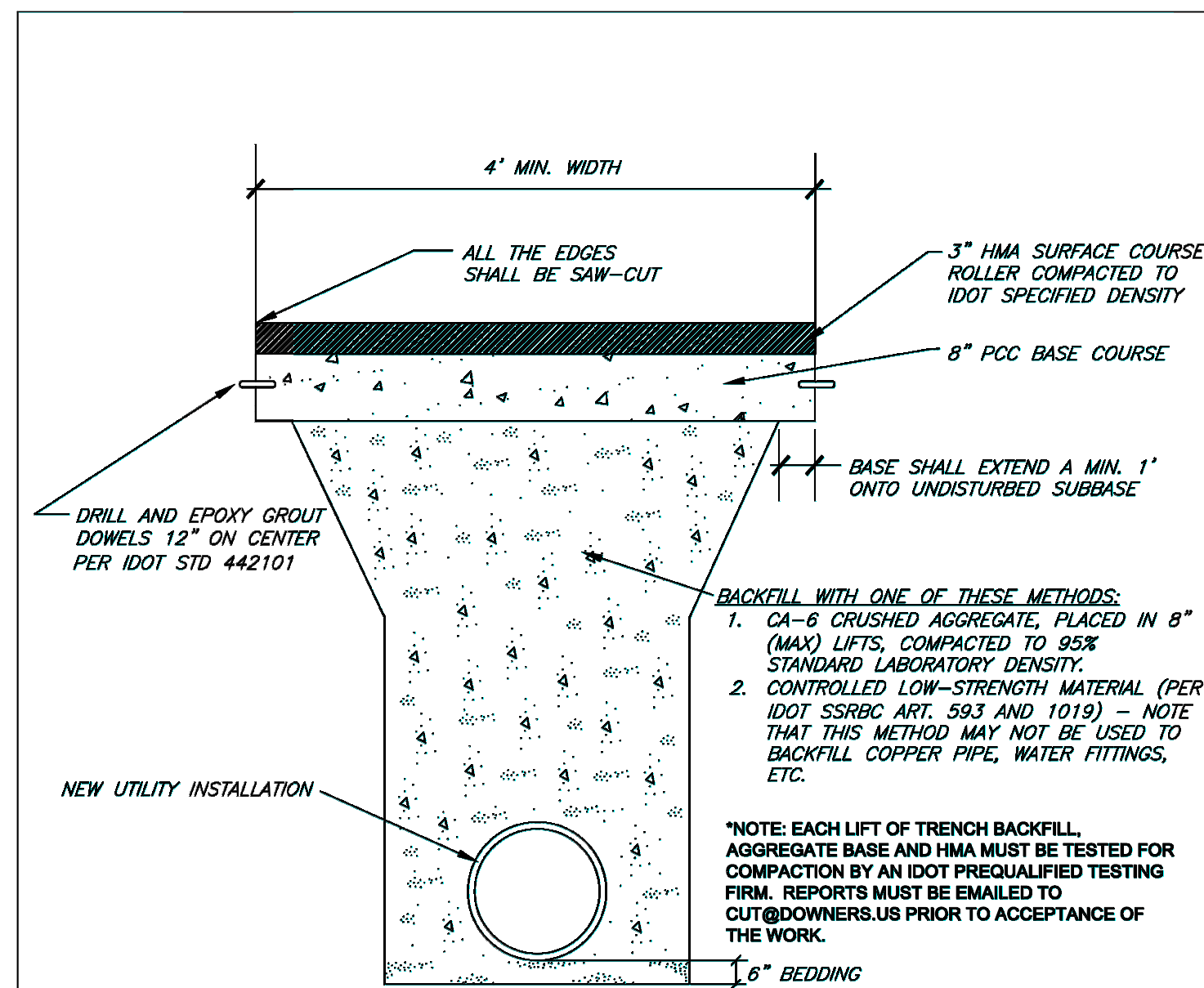
CIVIL DETAILS

Project Number:
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 Sheet:

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1 STREET OPENING BITUMINOUS WITH CONCRETE BASE

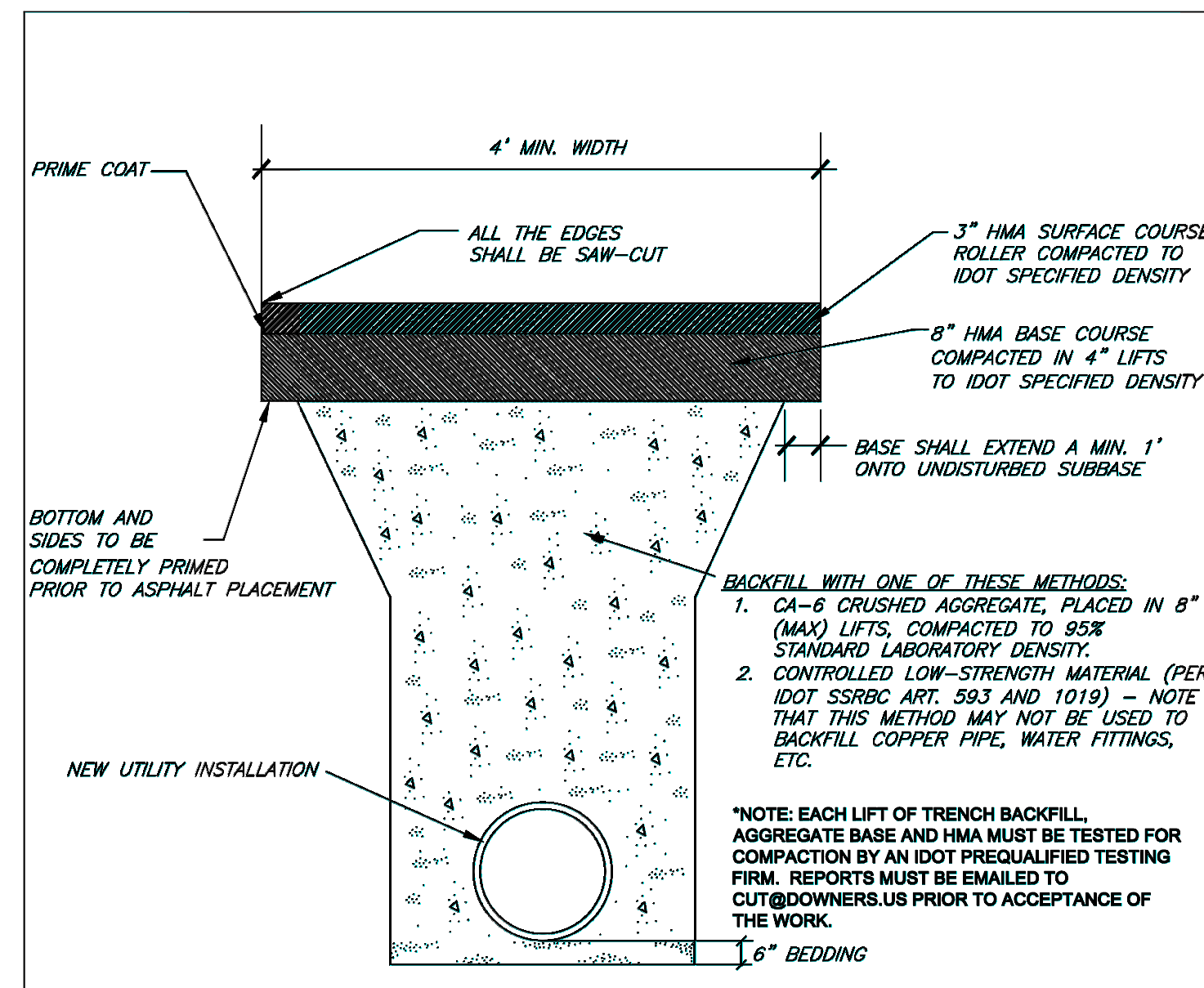


NOTES

- * ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE LATEST VERSION OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN THE STATE OF ILLINOIS" AND THE "STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION", UNLESS OTHERWISE SPECIFIED HEREIN, OR BY THE DIRECTOR OF PUBLIC WORKS.
- * ALL ROADWAYS SHALL REMAIN OPEN TO TRAFFIC WITH AT LEAST 1/2 THE WIDTH.
- * IF MORE THAN 30% OF THE ROADWAY WIDTH IS AFFECTED, THE ENTIRE WIDTH OF THE ROADWAY MUST BE RESURFACED.
- * ALL STREET OPENINGS MUST BE FULLY RESTORED WITHIN TEN DAYS.
- * REFER TO CONDITIONS OF THE PERMIT AND CHAPTER 19 OF THE VILLAGE CODE FOR ADDITIONAL REQUIREMENTS.

N.T.S.	DATE	REVISIONS	DRAWN BY	APPVD BY	STANDARD DETAIL
	02/20/07		J.M.L.	M.D.M.	STREET OPENING BITUMINOUS WITH CONCRETE BASE
	03/25/11		S.A.V.	A.J.S.	
	03/01/15		A.J.S.	A.J.S.	
	01/01/17		N.R.H.	J.M.W.	
	01/01/18		N.R.H.	J.M.W.	
DRAWING NO. PVT-16 I:\LIBRARY\DETAILS\PAVEMENT\PVT-16					

2 STREET OPENING BITUMINOUS

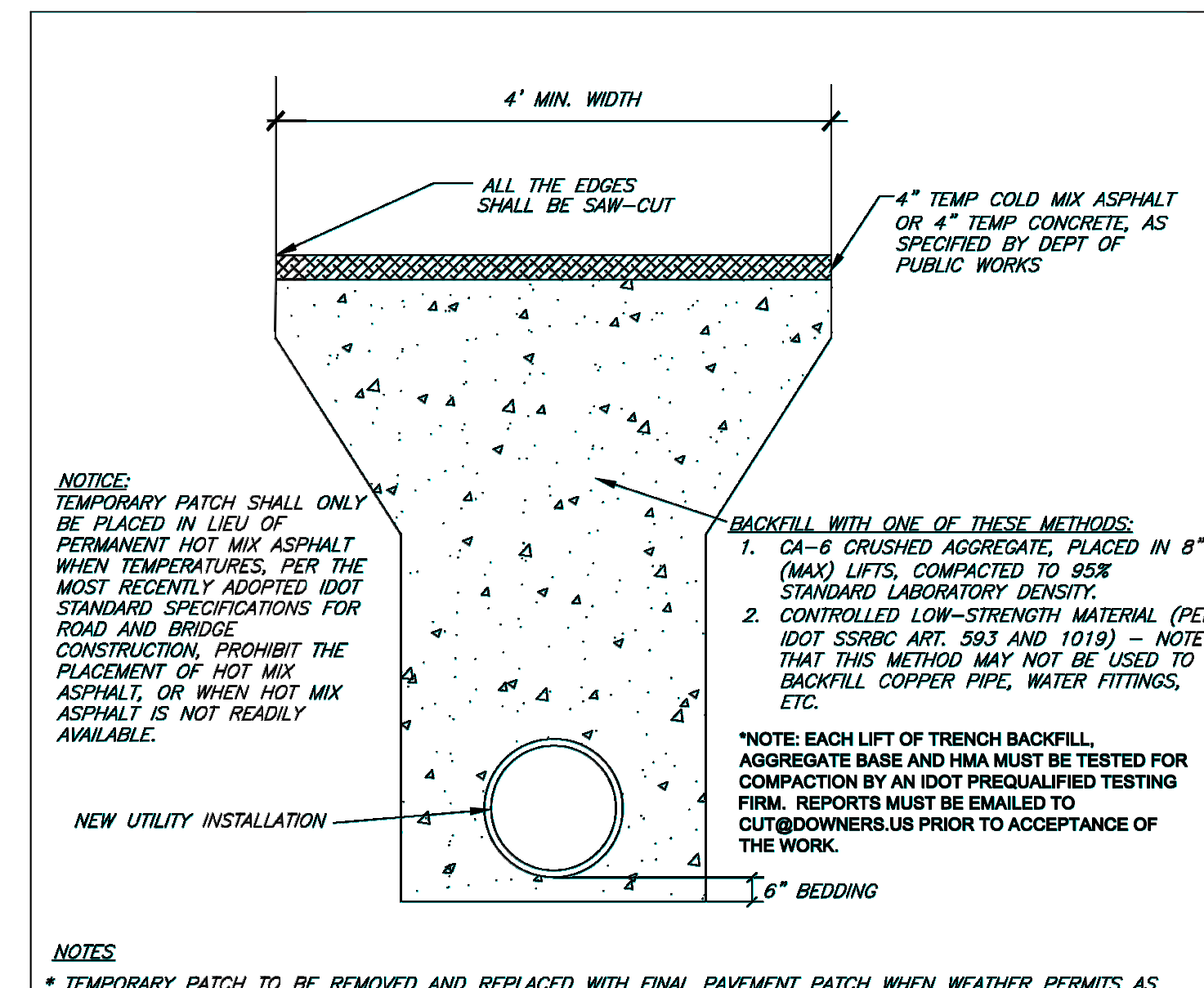


NOTES

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	03/01/15		A.J.S.	A.J.S.	
	01/01/17		N.R.H.	J.M.W.	
	01/01/18		N.R.H.	J.M.W.	
	05/22/18		N.R.H.	J.M.W.	
DRAWING NO. PVT-17 I:\LIBRARY\DETAILS\PAVEMENT\PVT-17					

3 STREET OPENING TEMPORARY



NOTES

- * TEMPORARY PATCH TO BE REMOVED AND REPLACED WITH FINAL PAVEMENT PATCH WHEN WEATHER PERMITS AS DIRECTED BY THE DEPARTMENT OF PUBLIC WORKS.
- * ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE LATEST VERSION OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN THE STATE OF ILLINOIS" AND THE "STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION", UNLESS OTHERWISE SPECIFIED HEREIN, OR BY THE DIRECTOR OF PUBLIC WORKS.
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	01/01/17		N.R.H.	J.M.W.	
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REV	DESCRIPTION	DATE

COMMUNITY HIGH SCHOOL DISTRICT 99
 TRANSITION 99
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 4232 VENARD ROAD
 DOWNERS GROVE, IL 60515

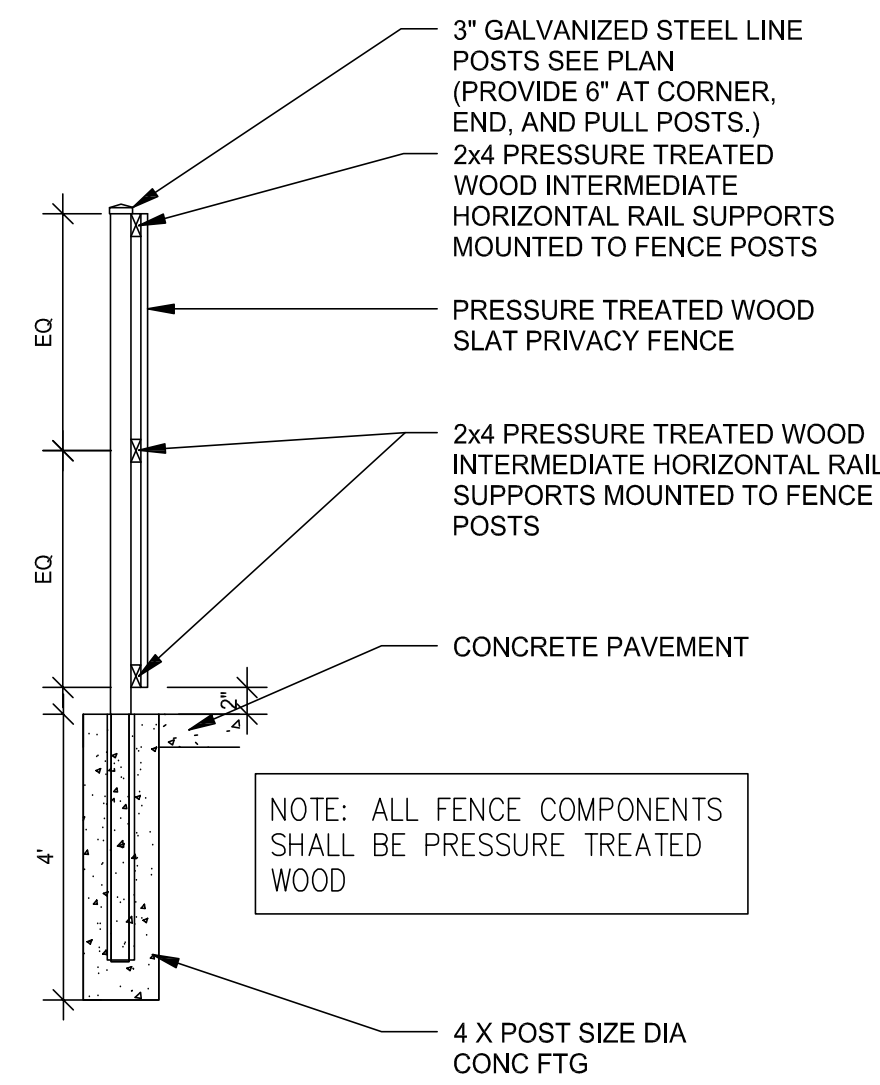
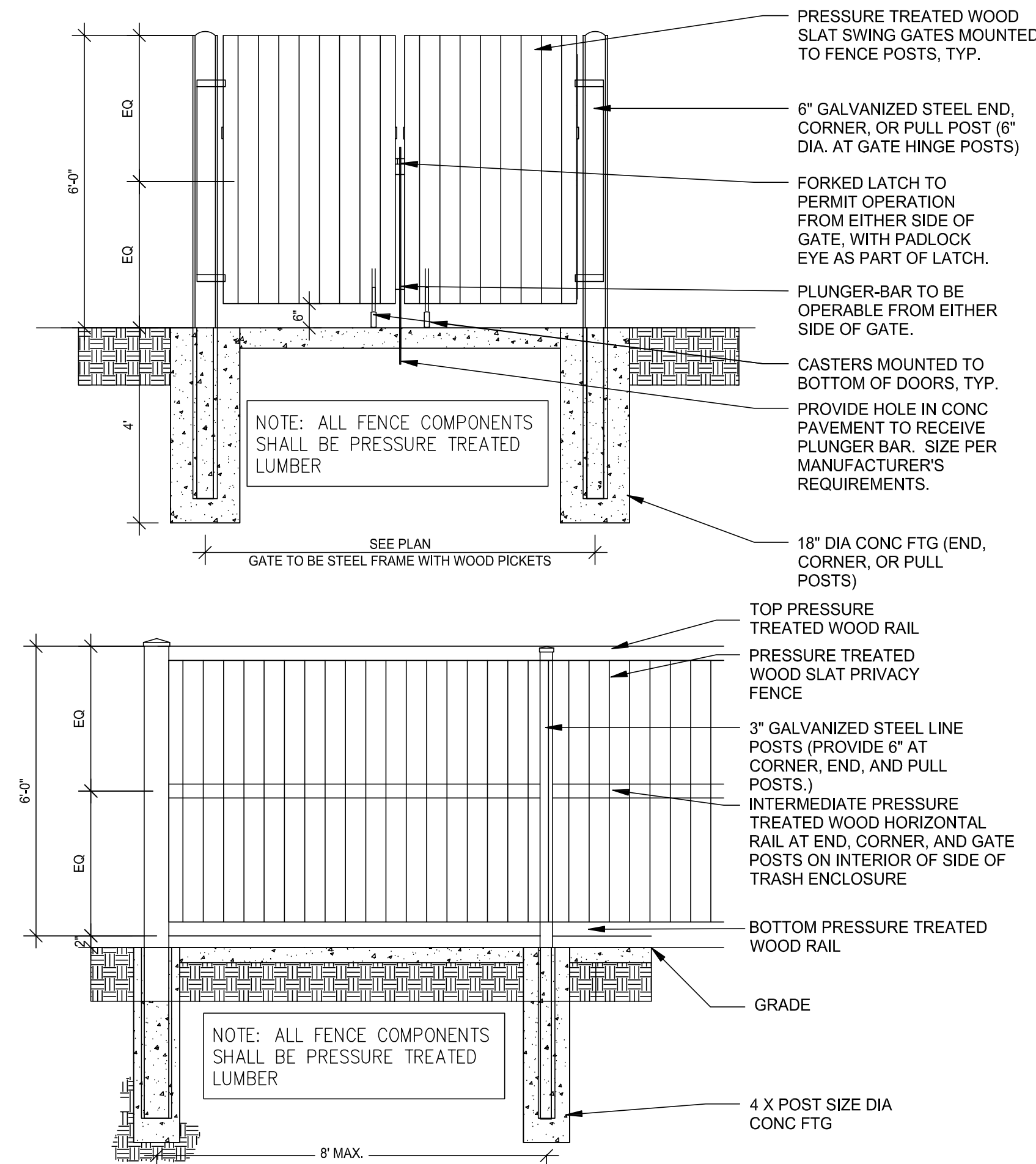
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220081
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 Sheet:

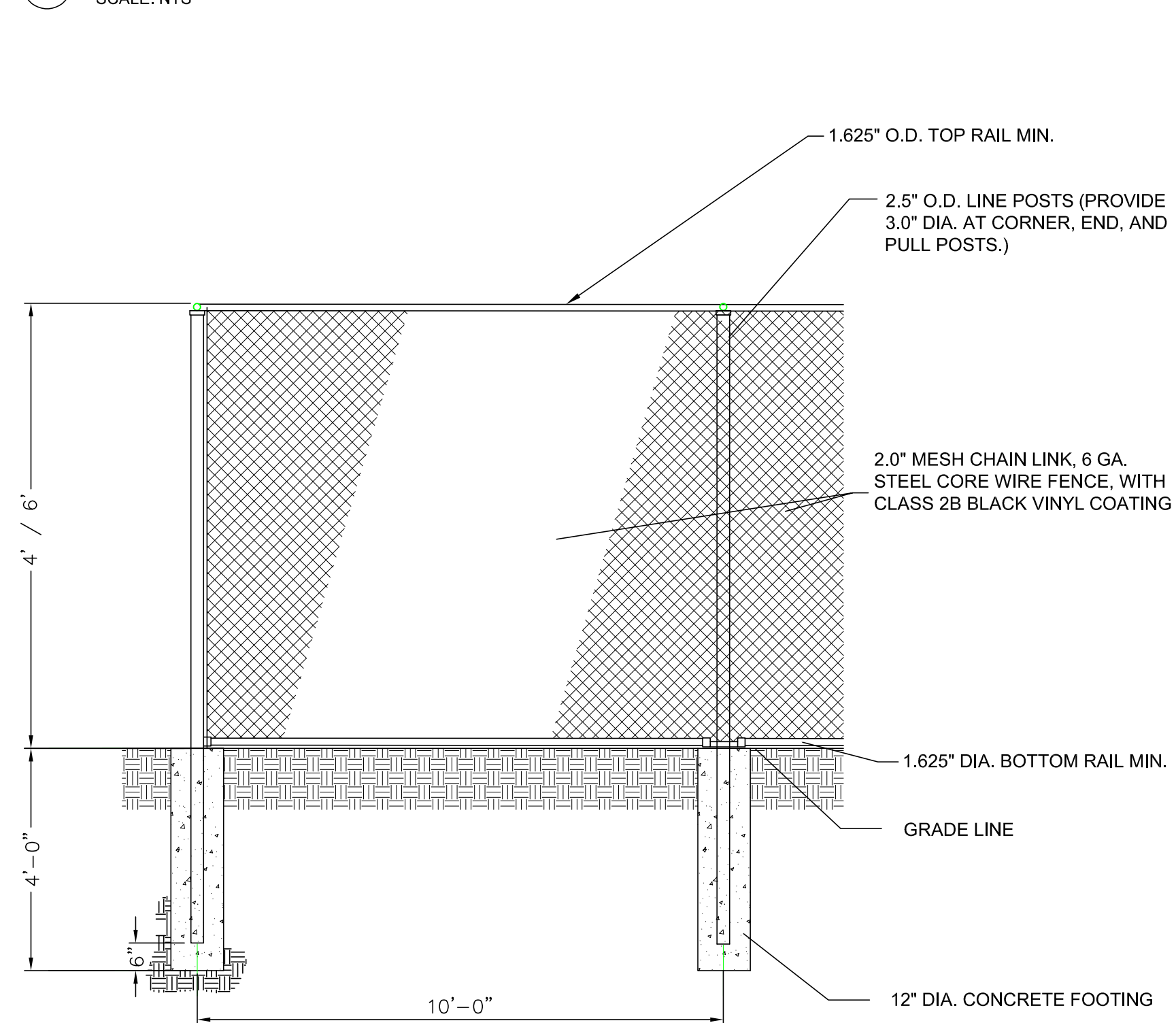
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1 6' HEIGHT WOOD FENCE TRASH ENCLOSURE

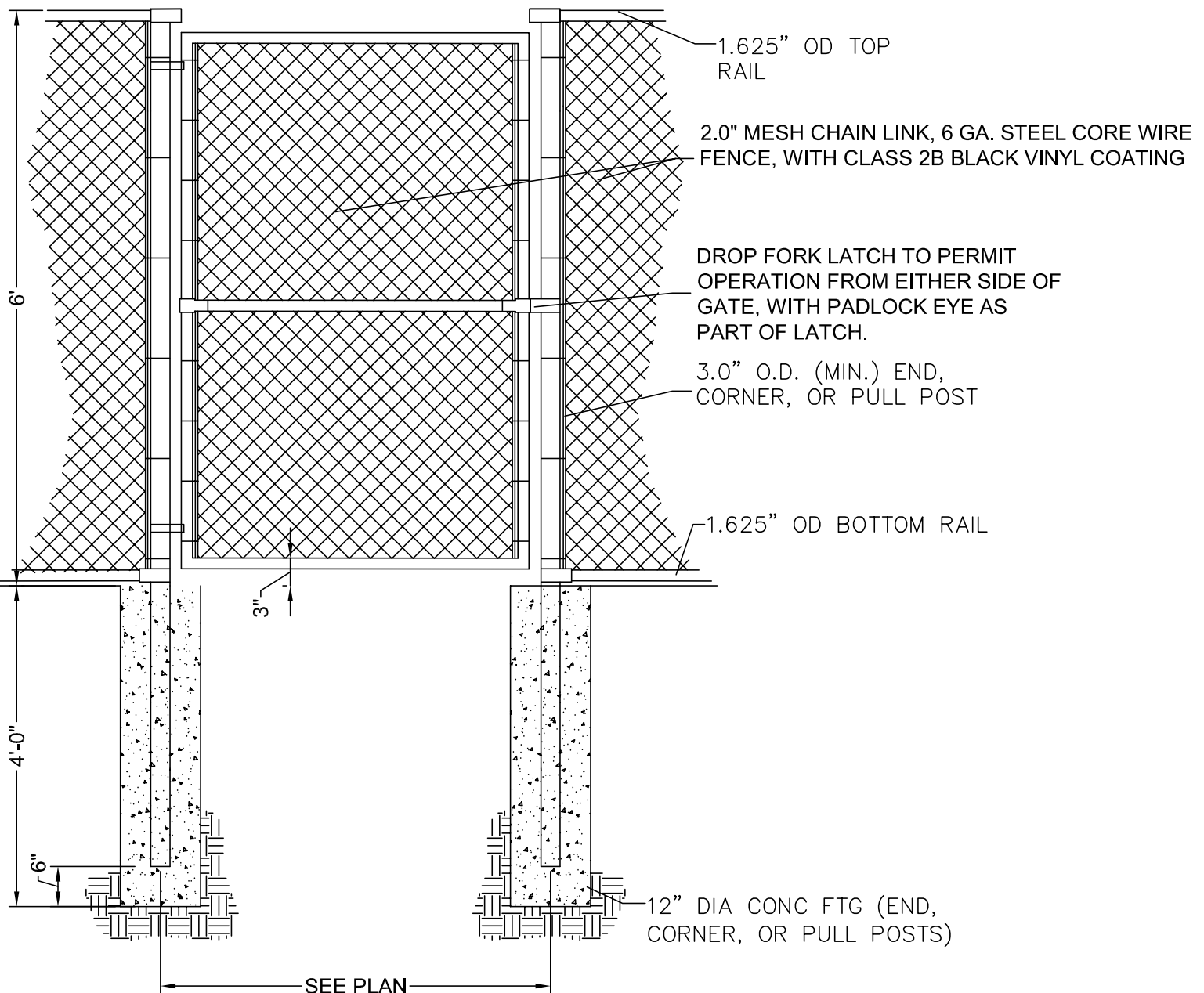


2 6' HEIGHT CHAIN LINK FENCE



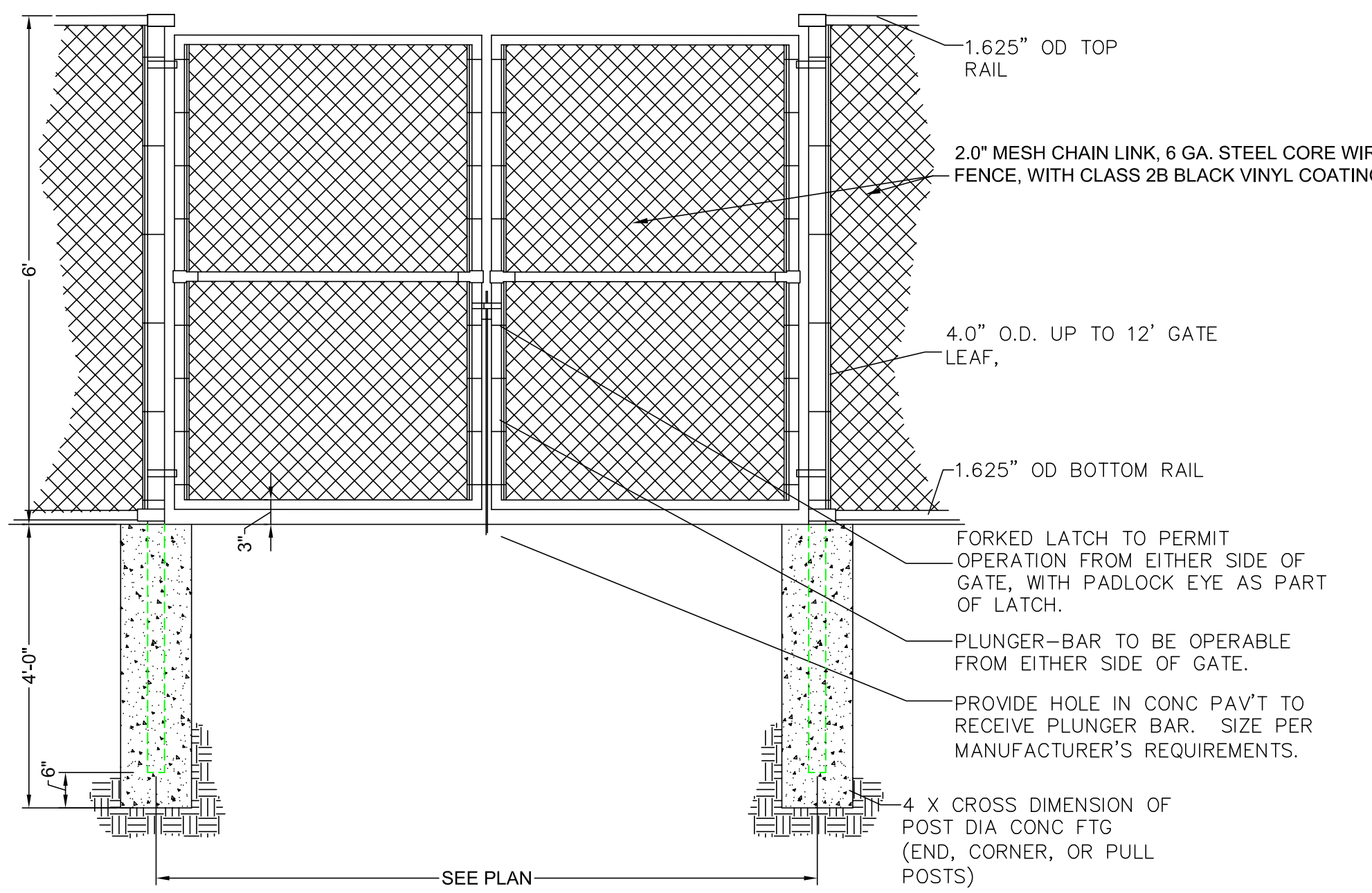
- NOTES:
1. MINIMUM POST SIZE AND MAXIMUM SPACING SHALL BE DETERMINED ACCORDING TO CLFMI WLG 2445, BASED ON MESH SIZE AND PATTERN SPECIFIED, BUT NOT LESS THEN SIZES INDICATED ON DETAIL.
 2. ALL GATE POSTS SHALL BE OF SUFFICIENT STRENGTH SO THAT THE TOTAL DEFLECTION OF THE GATE FRAME AND THE GATE POST AT THE END OF THE GATE LEAF SHALL NOT EXCEED THE LESSER OF 2% OF THE GATE LEAF WIDTH OR 4".
 3. ALL FENCE POST & COMPONENTS TO BE SS40 HIGH STRENGTH FENCE FRAMEWORK

3 6' HEIGHT CHAIN LINK SINGLE SWING GATE

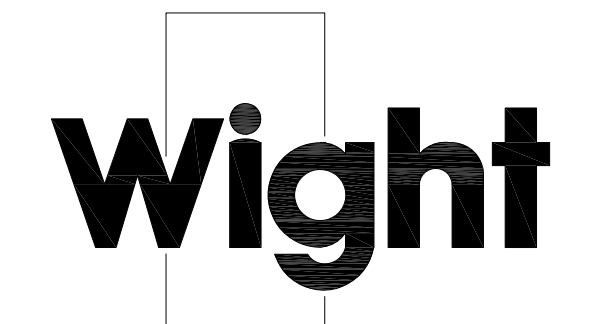


- NOTES:
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 3. ALL FENCE POST & COMPONENTS TO BE SS40 HIGH STRENGTH FENCE FRAMEWORK

4 6' HEIGHT CHAIN LINK FENCE DOUBLE SWING GATE



- NOTES:
1. MINIMUM POST SIZE AND MAXIMUM SPACING SHALL BE DETERMINED ACCORDING TO CLFMI WLG 2445, BASED ON MESH SIZE AND PATTERN SPECIFIED, BUT NOT LESS THEN SIZES INDICATED ON DETAIL.
 2. ALL GATE POSTS SHALL BE OF SUFFICIENT STRENGTH SO THAT THE TOTAL DEFLECTION OF THE GATE FRAME AND THE GATE POST AT THE END OF THE GATE LEAF SHALL NOT EXCEED THE LESSER OF 2% OF THE GATE LEAF WIDTH OR 4".
 3. ALL FENCE POST & COMPONENTS TO BE SS40 HIGH STRENGTH FENCE FRAMEWORK



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